



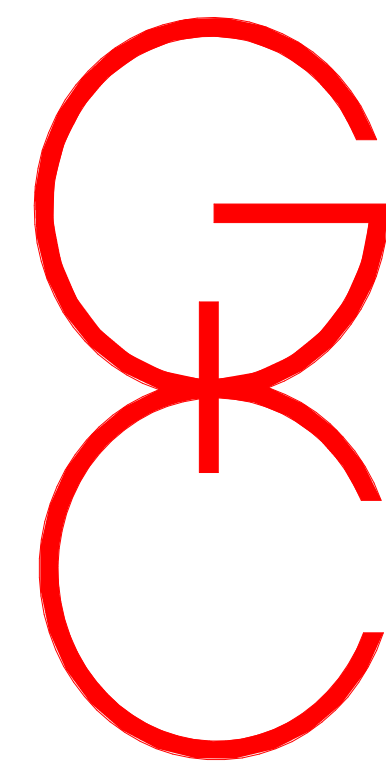
PROPOSED MIXED USE DEVELOPMENT

8 SHOREVIEW PLACE

ARCHITECTURAL CONCEPT

HAMILTON

ONTARIO



GRAZIANI
+
CORAZZA
ARCHITECTS INC.

8400 JANE STREET, BUILDING D - SUITE 300 CONCORD, ON L4K 4L8
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8 SHOREVIEW PLACE,
STONEY CREEK, HAMILTON,

PROPOSED MIXED USE DEVELOPMENT
JOB NO. 2053.22

SURVEY INFO

TOPOGRAPHIC SURVEY
OF ALL OF
LOTS 4 TO 13 (INCLUSIVE) AND LOT 16 AND BLOCKS B, C, D, E, F, G AND H
REGISTERED PLAN M-101
GEOGRAPHIC
TOWNSHIP OF SALTLEET
IN THE
CITY OF HAMILTON

G.F.A DEFINITION

THE DEFINITION OF GROSS FLOOR AREA SHALL MEAN THE AGGREGATE HORIZONTAL AREA MEASURED FROM THE EXTERIOR FACES OF THE EXTERIOR WALLS OF ALL FLOORS OF A BUILDING (EXCLUDING ANY CELLAR OR FLOOR AREA HAVING A CEILING HEIGHT OF 2.0 METERS OR LESS OR DEVOTED EXCLUSIVELY TO PARKING) WITHIN ALL BUILDING ON A LOT BUT SHALL NOT INCLUDE AN AREA DEVOTED TO MECHANICAL EQUIPMENT. MECHANICAL AREA CONSTITUTES A CORRIDOR PROVIDING ACCESS TO A MECHANICAL ROOM MAY BE EXCLUDED FROM GROSS FLOOR AREA, PROVIDED THE CORRIDOR EXCLUSIVELY PROVIDES ACCESS TO THE MECHANICAL ROOM AND NO OTHER. EXCLUSIONS ALSO INCLUDE ELEVATORS, ELEVATOR SHAFTS, STAIRWAYS, INCOMING SERVICE ROOMS, ELECTRICAL ROOMS, SHAFT OPENINGS FROM BUILDING SERVICES. BIKE PARKING IS INCLUDED IN THE GFA IF THE PARKING IS WITHIN A BUILDING.

LIST OF DRAWINGS	
Sheet Number	Sheet Name
A.101	STATISTICS AND NOTES
A.102	SITE PLAN
A.201	P1 & P2 PARKING PLANS
A.301	GROUND FLOOR PLAN
A.302	2ND & 3RD FLOOR PLANS
A.303	4TH & 5TH FLOOR PLANS
A.304	6TH & 7TH FLOOR PLANS
A.305	8TH & 9TH FLOOR PLANS
A.306	10TH & 11TH FLOOR PLANS
A.307	12TH & 13TH FLOOR PLANS
A.308	TYP. FLOOR PLANS
A.401	NORTH ELEVATION
A.402	SOUTH ELEVATION
A.403	EAST ELEVATION
A.404	WEST ELEVATION
A.501	BUILDING SECTIONS
A.502	SECTION - TOWER A
A.503	SECTION - TOWER B
A.601	PERSPECTIVE
A.602	PERSPECTIVE
A.603	PERSPECTIVE
A.604	PERSPECTIVE
A.605	PODIUM PERSPECTIVES
A.606	PODIUM PERSPECTIVES

SITEPLAN STATISTICS

01. SITE	m2	area ratio	ha	ft2	ac
Project Site Area	11716		1.1716	126110	2.90
Building ground floor Area	4003	34.17%	0.4003	43088	0.99
Hardscape Area	2440	20.83%	0.244	26264	0.60
Landscape Area	5273	45.00%	0.5273	56758	1.30

02. G.F.A Above Grade	m2	ft2
Commercial	481 m2	5177.4 ft2
Residential	42047.3	452593.4 ft2
Non-Residential		
Total		

04. BUILDING HEIGHT	TOWER A	TOWER B	PODIUM
Number of storeys	25+MECH	37+MECH	5 STY

05. UNIT COUNT*	TOWER A	TOWER B	TOTAL
Number of Residential units	264	466	730

06. UNIT TYPE MIX*	Type	Count	%
Residential Units	Studio	21	3%
	1 Bed	118	16%
	1 Bed + Den	438	60%
	2 Bed	121	17%
	2 Bed + Den	16	2%
	3 Bed	11	2%
	2 sty units	5	1%

07. PARKING	min count	@ratio
Commercial	5	
Residential (including visitors)	913	1.25 / res. unit
Recouped Seasons parking	48	1.00 / removed
car share	2	
Total	968	

08. AMENITY (m2)			
Indoor amenity	1000		
Shared @ grade outdoor amenity	5273		
Shared Outdoor	1646		
Private Outdoor amenity (balcony)	4491.00		
Total	12410	@ 17.00	m2/residential unit

09. BUILDING SETBACKS**		
North		3.00m
East		N/A
South		14.00m
West		3.00m

Notes:
* actual unit count may vary depending on market demand
** setbacks to main building face

KEY PLAN 1:1000



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02	JUL 20 2023	ISSUED FOR DRP SUBMISSION	B.G.

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PROPOSED MIXED USE DEVELOPMENT
8 SHOREVIEW

HAMILTON	ONTARIO
Project Architect:	B.G.
Assistant Designer:	A.G.
Drawn By:	J.B./A.N./A.G.
Checked By:	D.B.
Plot Date:	JULY 20 2023
Job #	2053.22

STATISTICS AND NOTES

1:1000 A.101



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PARKING LEGEND

res. / vsl. seasons barrier free

BICYCLE LOCKERS LEGEND

HORIZONTAL BIKE LOCKER

VERTICAL BIKE LOCKER

HORIZONTAL STACKED BIKE LOCKER

LOCKER LEGEND

STORAGE LOCKER

NOTE:
1. Minimum aisle width of 1.5 m as per Toronto's Design Guidelines

NOTE:
1. All doorways to bike storage, lockers, and elevators will be power-operated / have Automatic Door Openers (ADO) to facilitate access to such spaces.
2. Walls and ceilings in all parking levels to be painted white.
3. Outlet for e-bikes and space to accommodate non-standard bikes will be provided.

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GRAZIANI CORAZZA ARCHITECTS

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PROPOSED MIXED USE DEVELOPMENT
8 SHOREVIEW

HAMILTON	ONTARIO
Project Architect:	B.G.
Assistant Designer:	A.G.
Drawn By:	J.B./A.N./A.G.
Checked By:	D.B.
Plot Date:	JULY.20.2023
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P1 & P2 PARKING PLANS

1:300 A.201

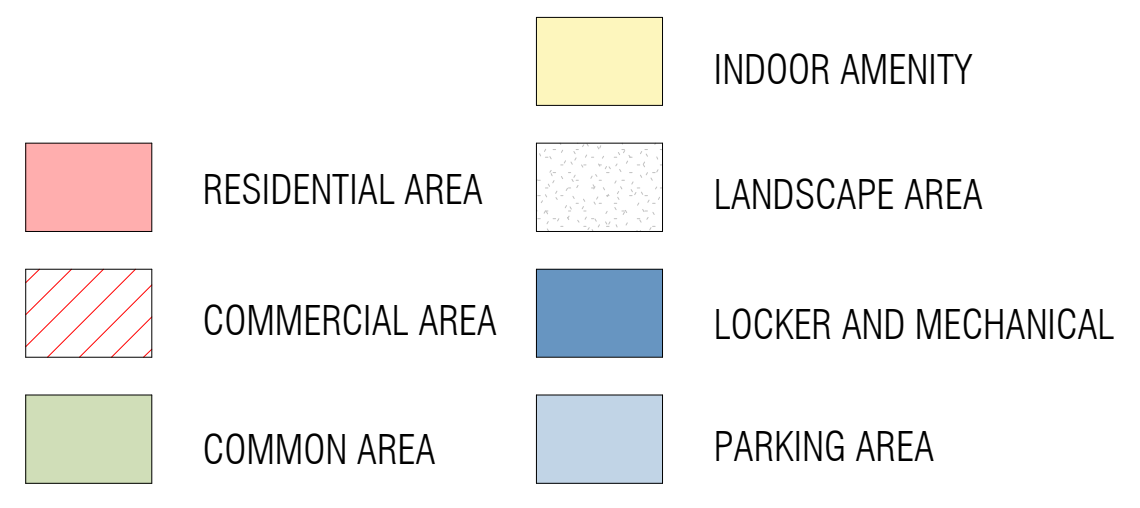
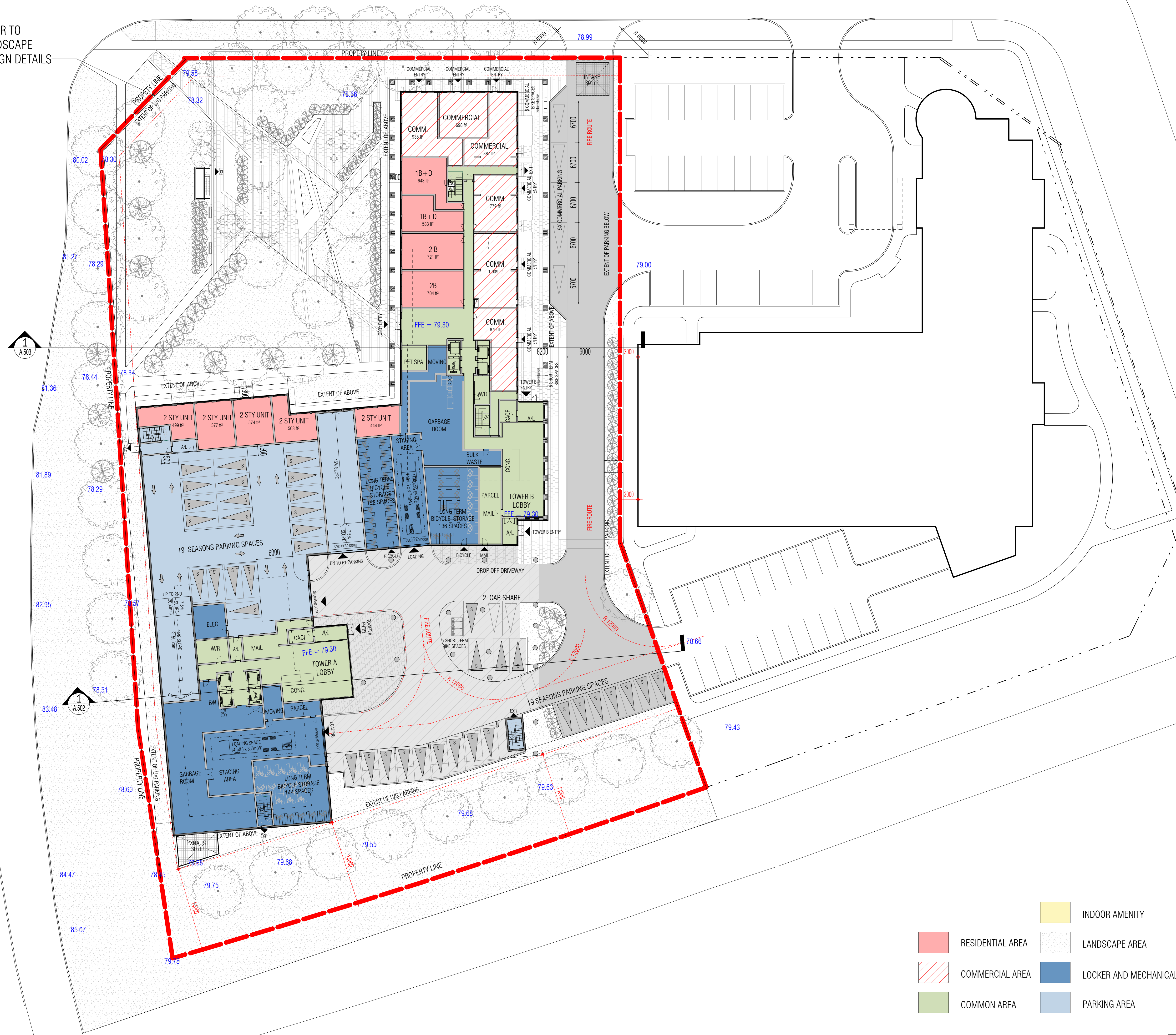


P2 UNDERGROUND PLAN



P1 UNDERGROUND PLAN

REFER TO
LANDSCAPE
DESIGN DETAILS



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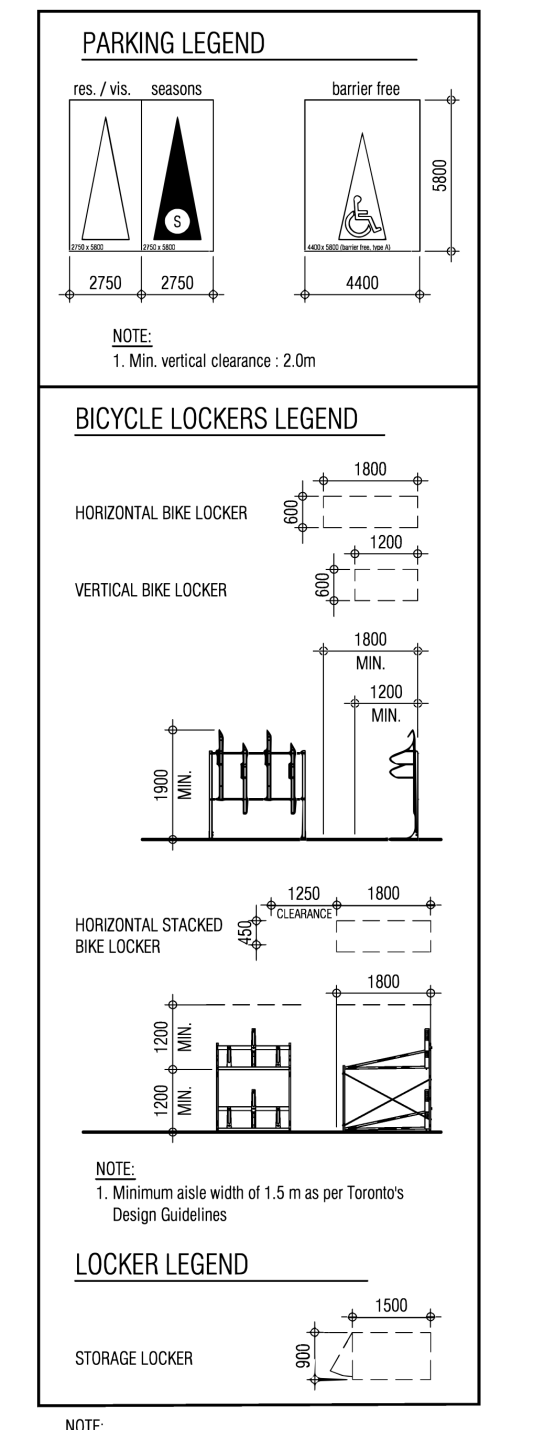
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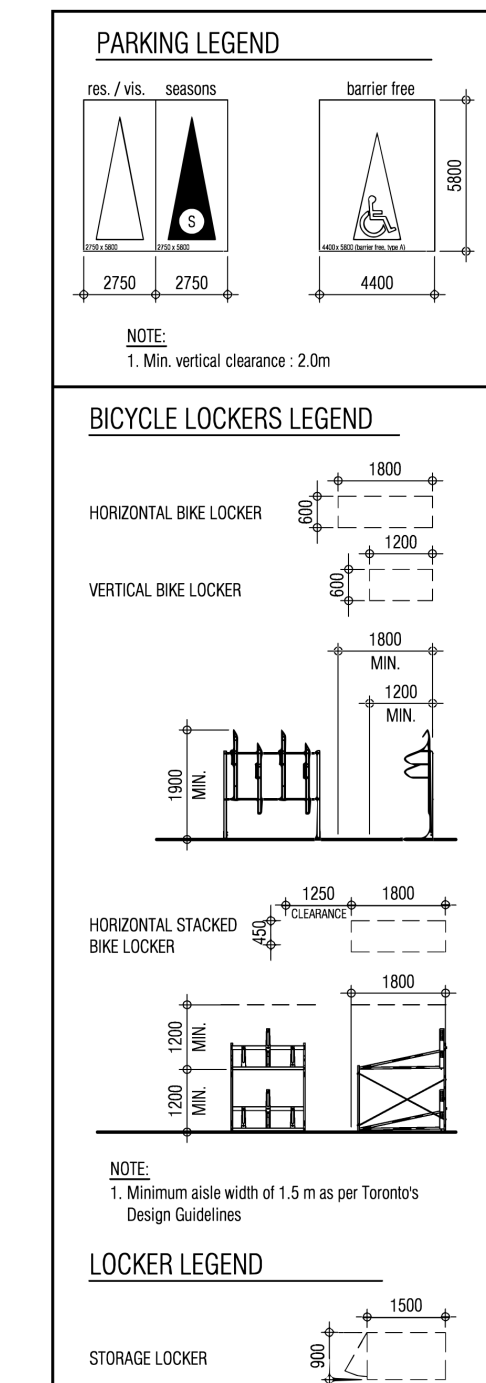
GROUND FLOOR PLAN
1 : 300 A.301

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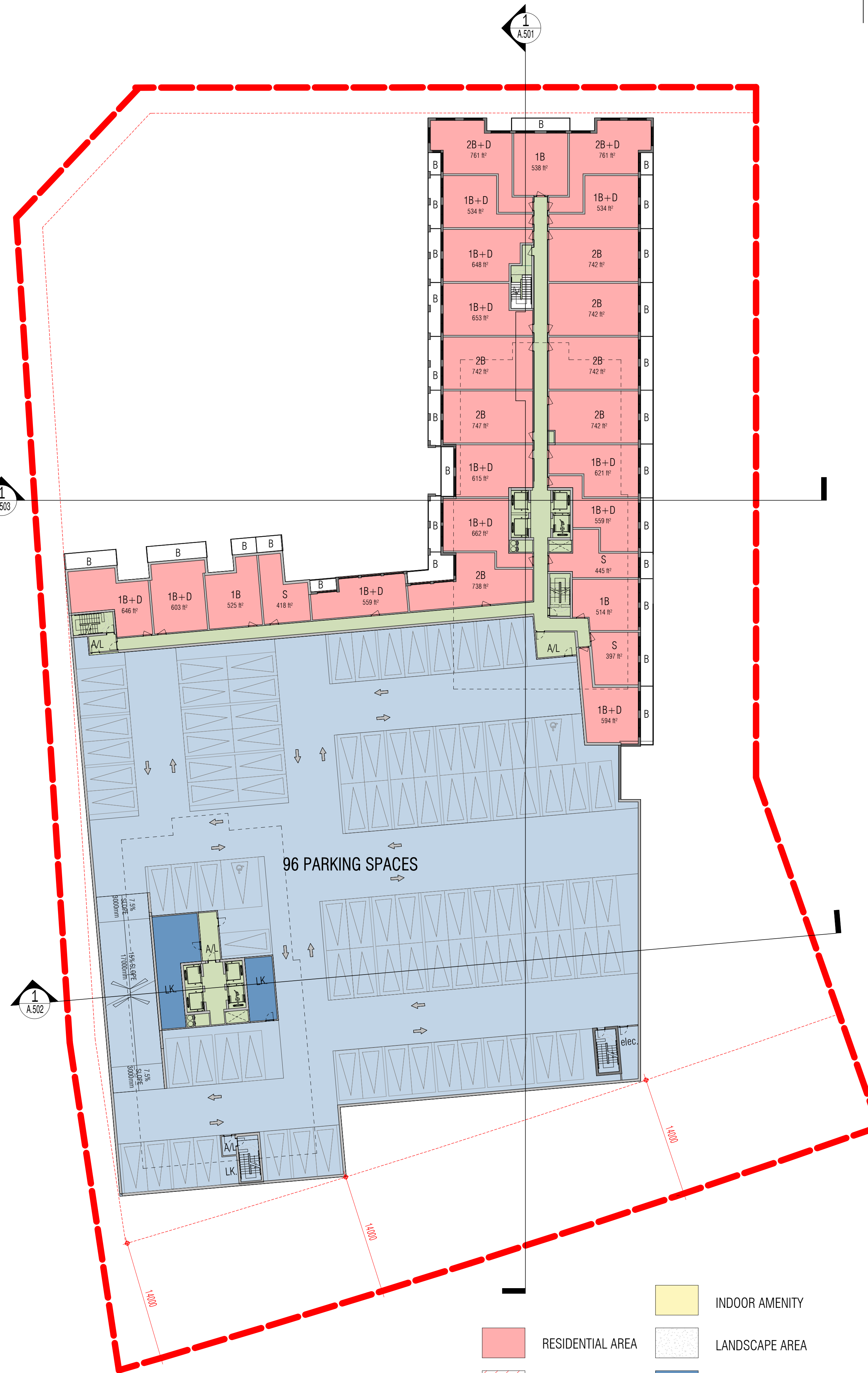
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2ND & 3RD FLOOR PLANS
 1:300 A.302



2ND FLOOR PLANS



3RD FLOOR PLAN

	INDOOR AMENITY
	RESIDENTIAL AREA
	LOCKER AND MECHANICAL
	COMMON AREA
	PARKING AREA
	LANDSCAPE AREA

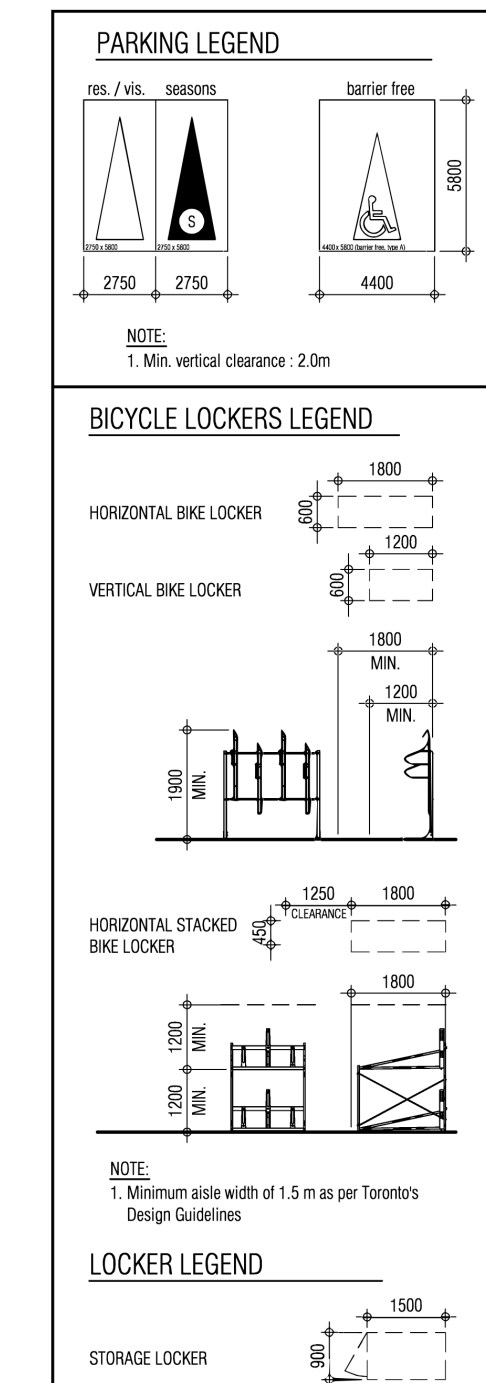
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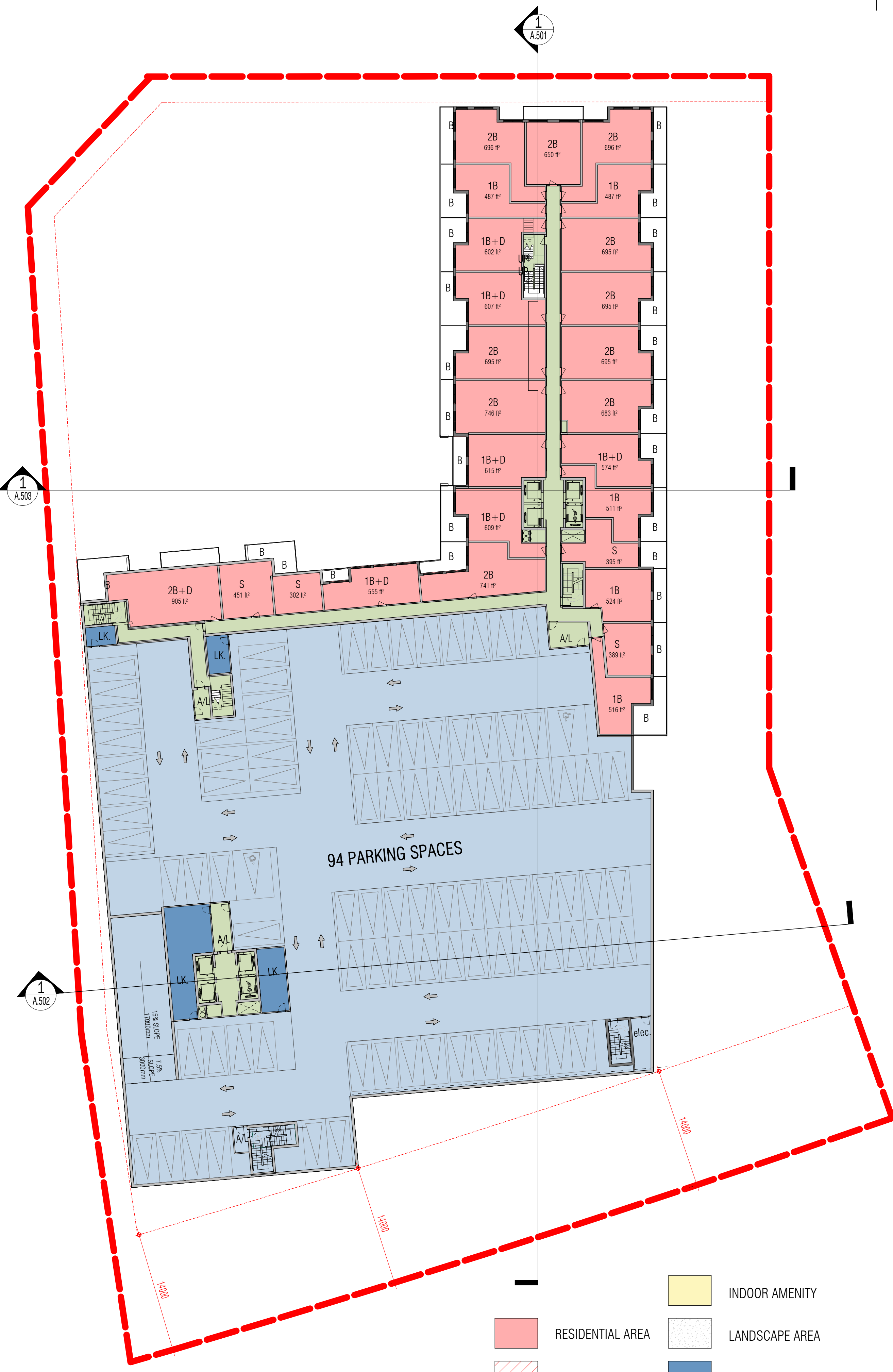
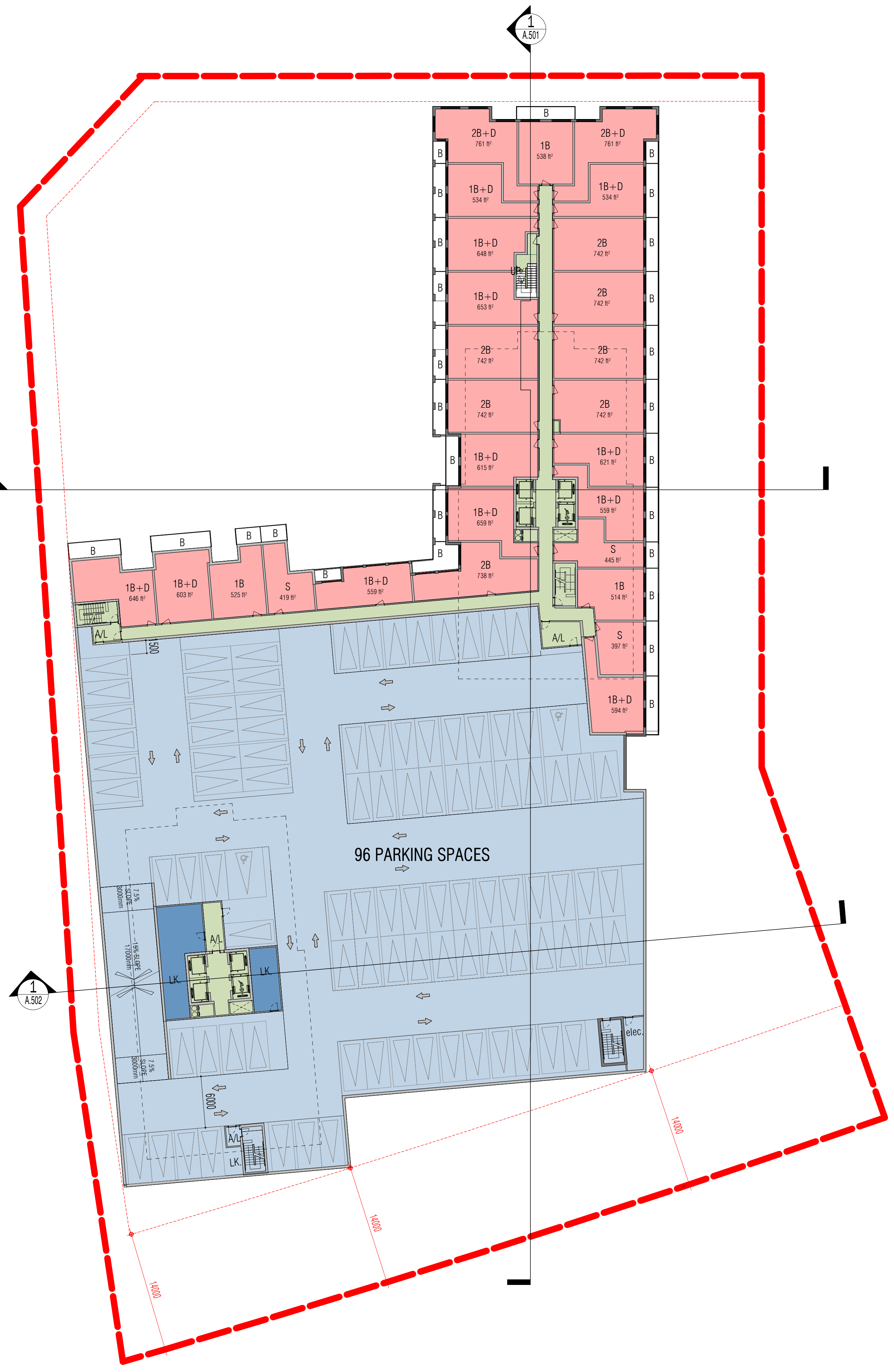
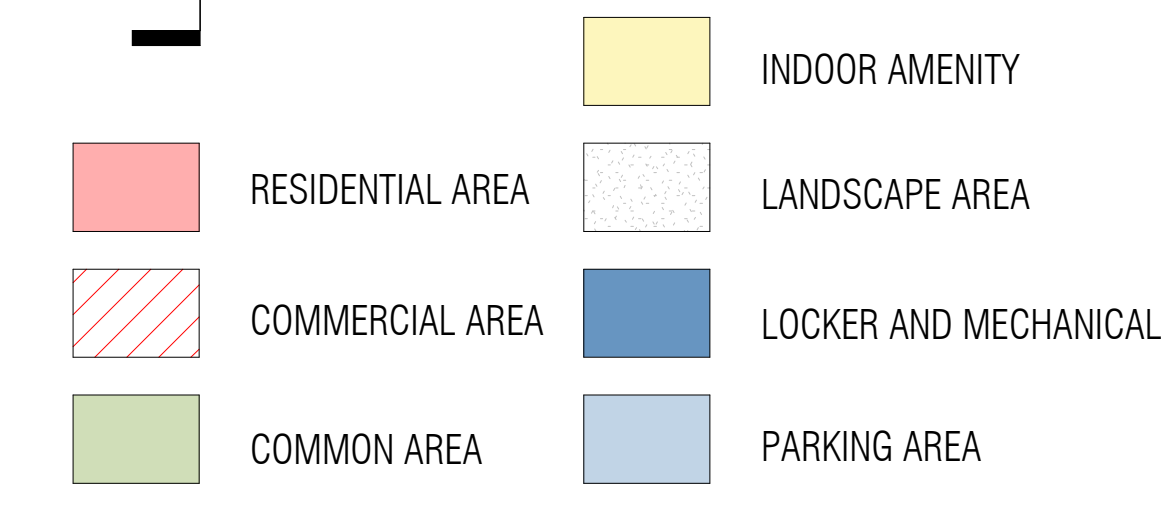
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ONTARIO ASSOCIATION OF ARCHITECTS
 RERARDO EL GRAZIANI LICENCE 21634

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4TH & 5TH FLOOR PLANS
 1 : 300 A.303



4TH FLOOR PLAN

5TH FLOOR PLAN

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Checked By:	D.B.
Plot Date:	JULY.20.2023
Job #	2053.22

6TH & 7TH FLOOR PLANS



1 : 300 A.304



6TH FLOOR PLAN



7TH FLOOR PLAN

- RESIDENTIAL AREA
- INDOOR AMENITY
- LANDSCAPE AREA
- LOCKER AND MECHANICAL
- PARKING AREA
- COMMON AREA

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01	JUL.04.2022	ISSUED FOR SPA SUBMISSION	B.G.
02	JUL.20.2023	ISSUED FOR DRP SUBMISSION	B.G.



8TH FLOOR PLAN



9TH FLOOR PLAN

	INDOOR AMENITY
	RESIDENTIAL AREA
	LOCKER AND MECHANICAL
	COMMON AREA
	LANDSCAPE AREA
	PARKING AREA

No.	Date	Description	Issued by
Issued for revisions			
GRAZIANI CORAZZA ARCHITECTS <small>8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8 PHONE: 905.755.2801 FAX: 905.755.2844 WWW.GC-ARCHITECTS.COM</small>			

PROPOSED MIXED USE DEVELOPMENT
8 SHOREVIEW

HAMILTON ONTARIO

Project Architect: B.G.
 Assistant Designer: A.G.
 Drawn By: J.B./A.N./A.G.
 Checked By: D.B.
 Plot Date: JULY.20.2023
 Job #: 2053.22

8TH & 9TH FLOOR PLANS

1 : 300 A.305

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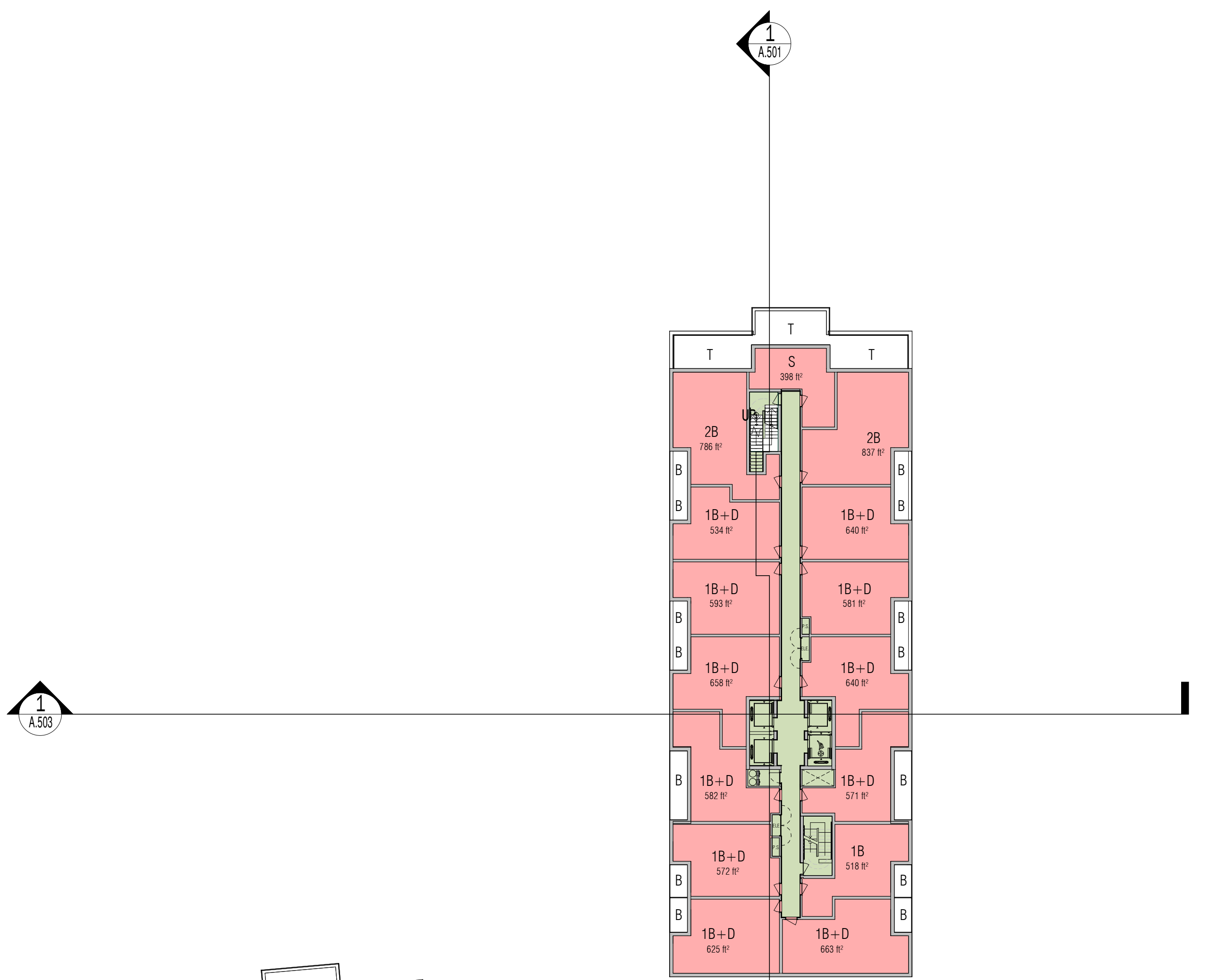
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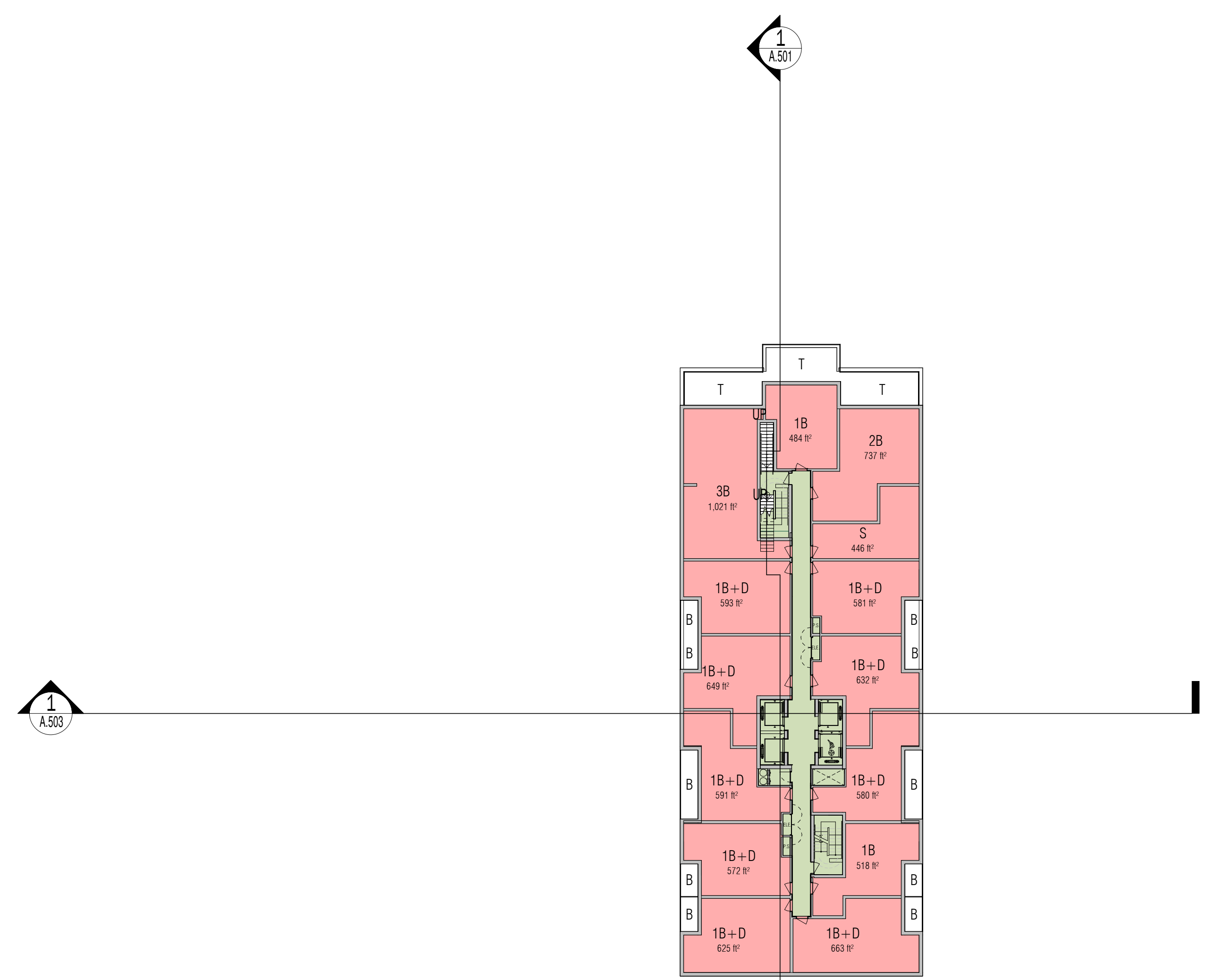
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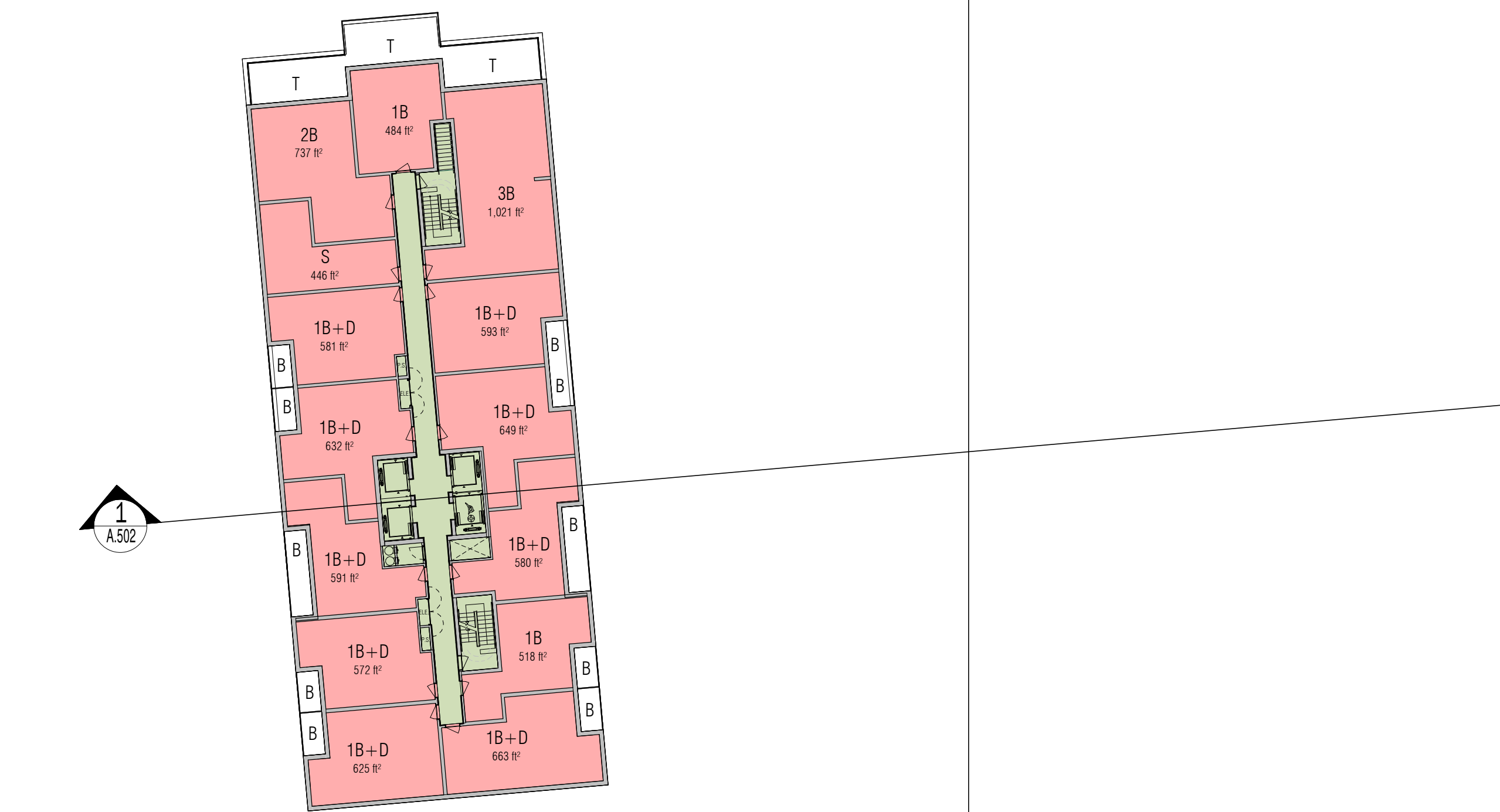
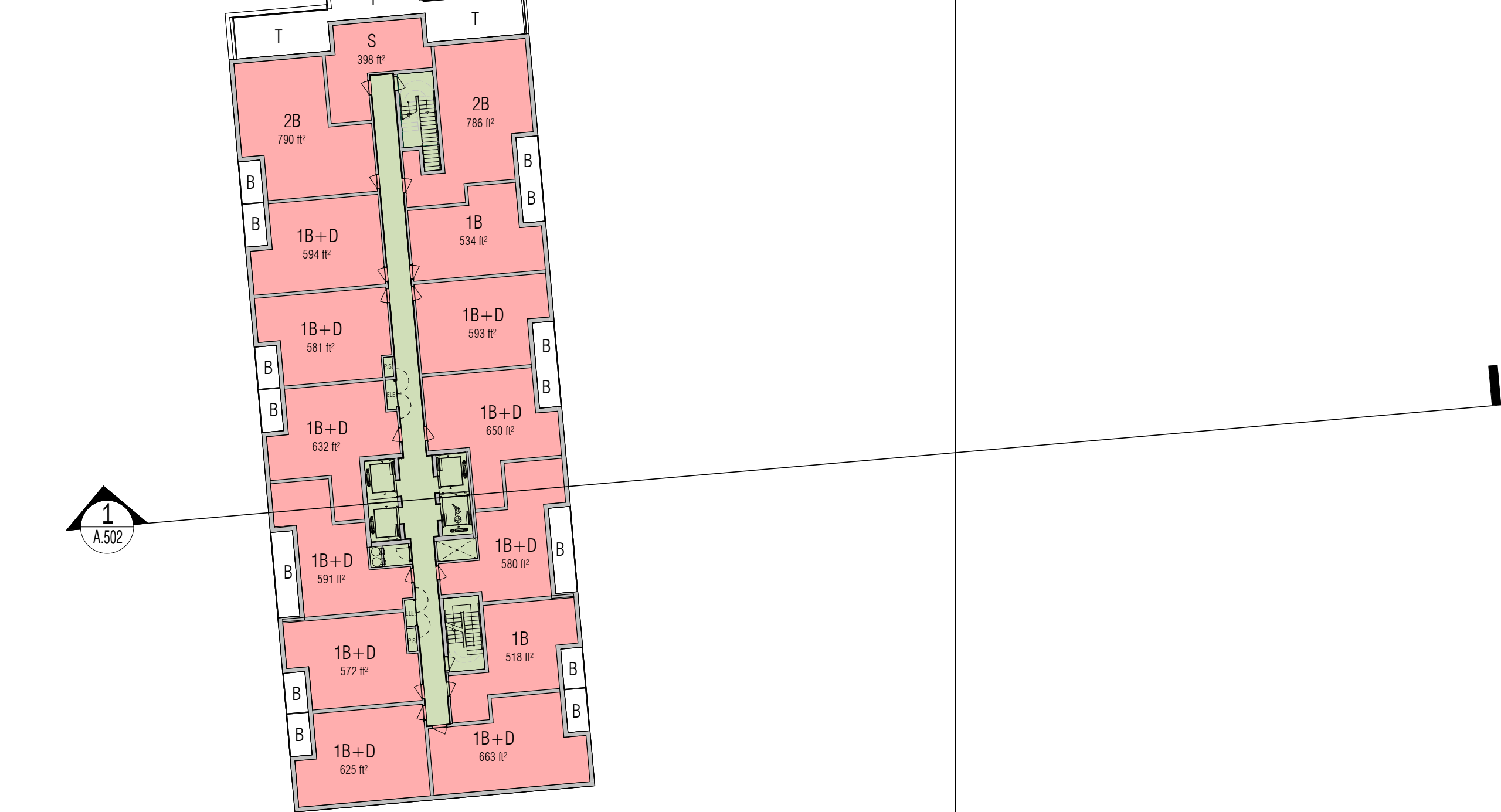
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02	JUL.20.2023	ISSUED FOR DRP SUBMISSION	B.G.



10TH FLOOR PLAN



11TH FLOOR PLAN



	INDOOR AMENITY
	RESIDENTIAL AREA
	COMMERCIAL AREA
	COMMON AREA
	LANDSCAPE AREA
	LOCKER AND MECHANICAL
	PARKING AREA

No.	Date	Description	Issued by
Issued for revisions			
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PROPOSED MIXED USE DEVELOPMENT

8 SHOREVIEW

HAMILTON ONTARIO

Project Architect: B.G.
 Assistant Designer: A.G.
 Drawn By: J.B./A.N./A.G.
 Checked By: D.B.
 Plot Date: JULY.20.2023
 Job #: 2053.22

10TH & 11TH FLOOR PLANS

1 : 300 A.306

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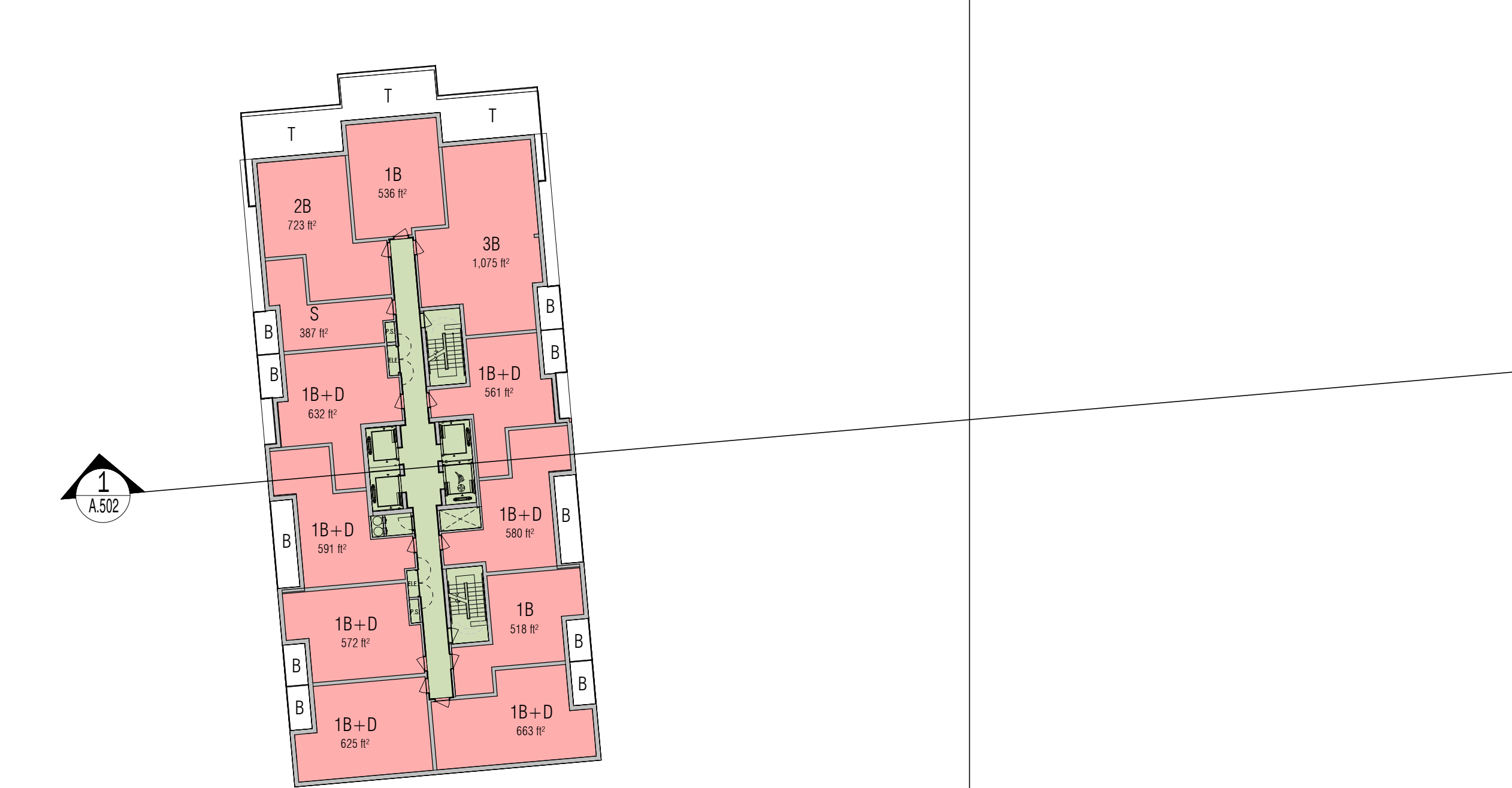
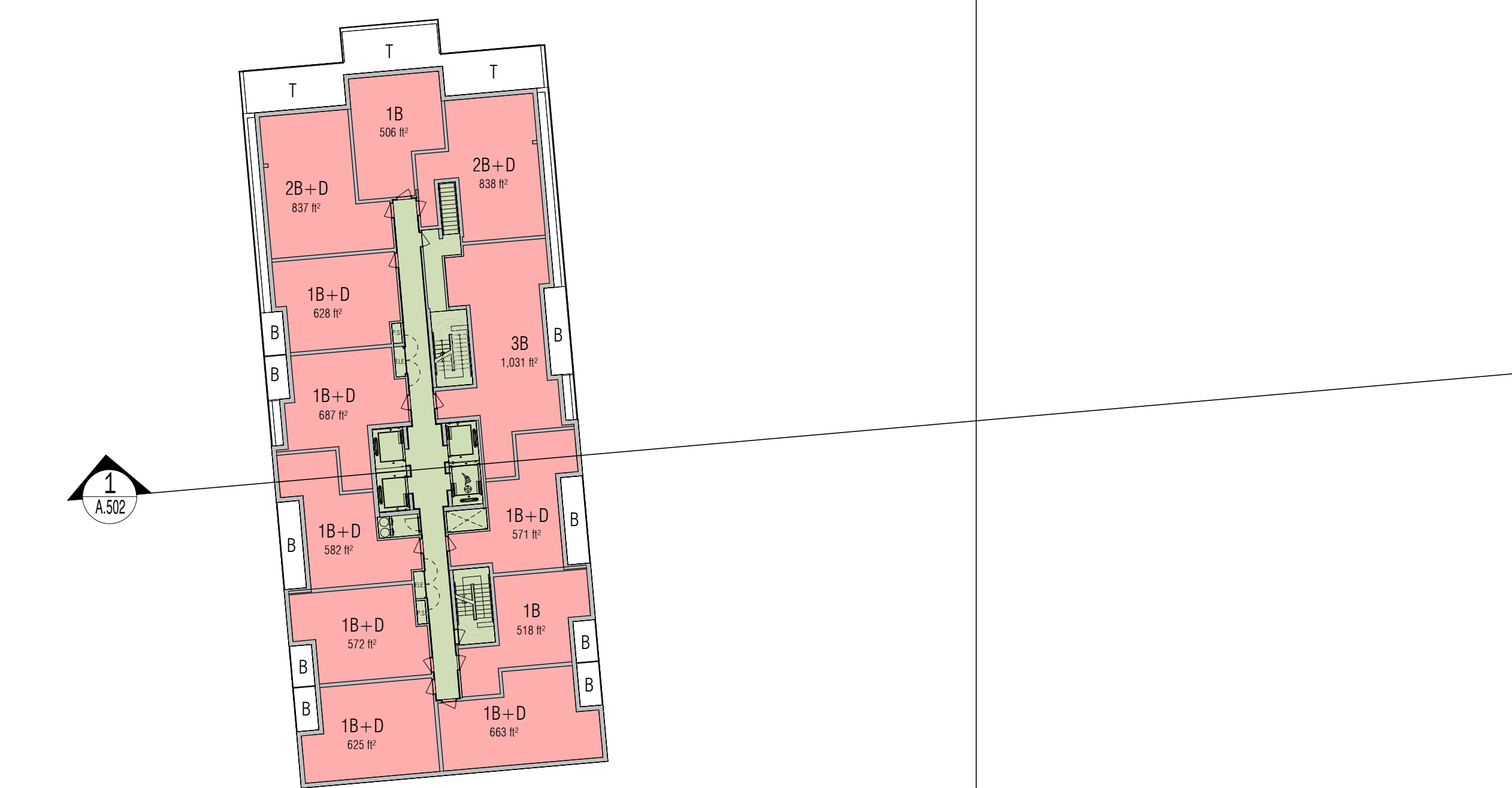
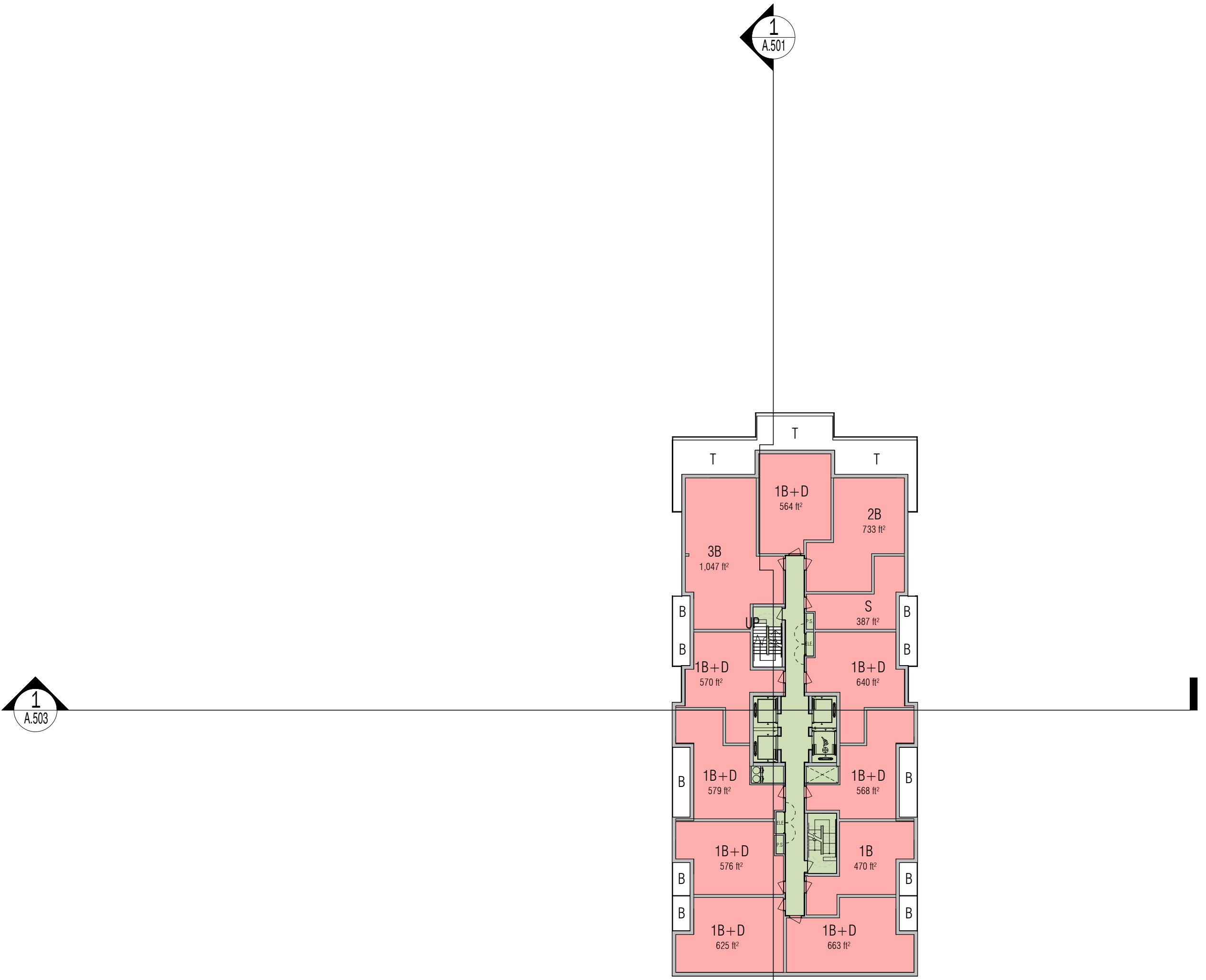
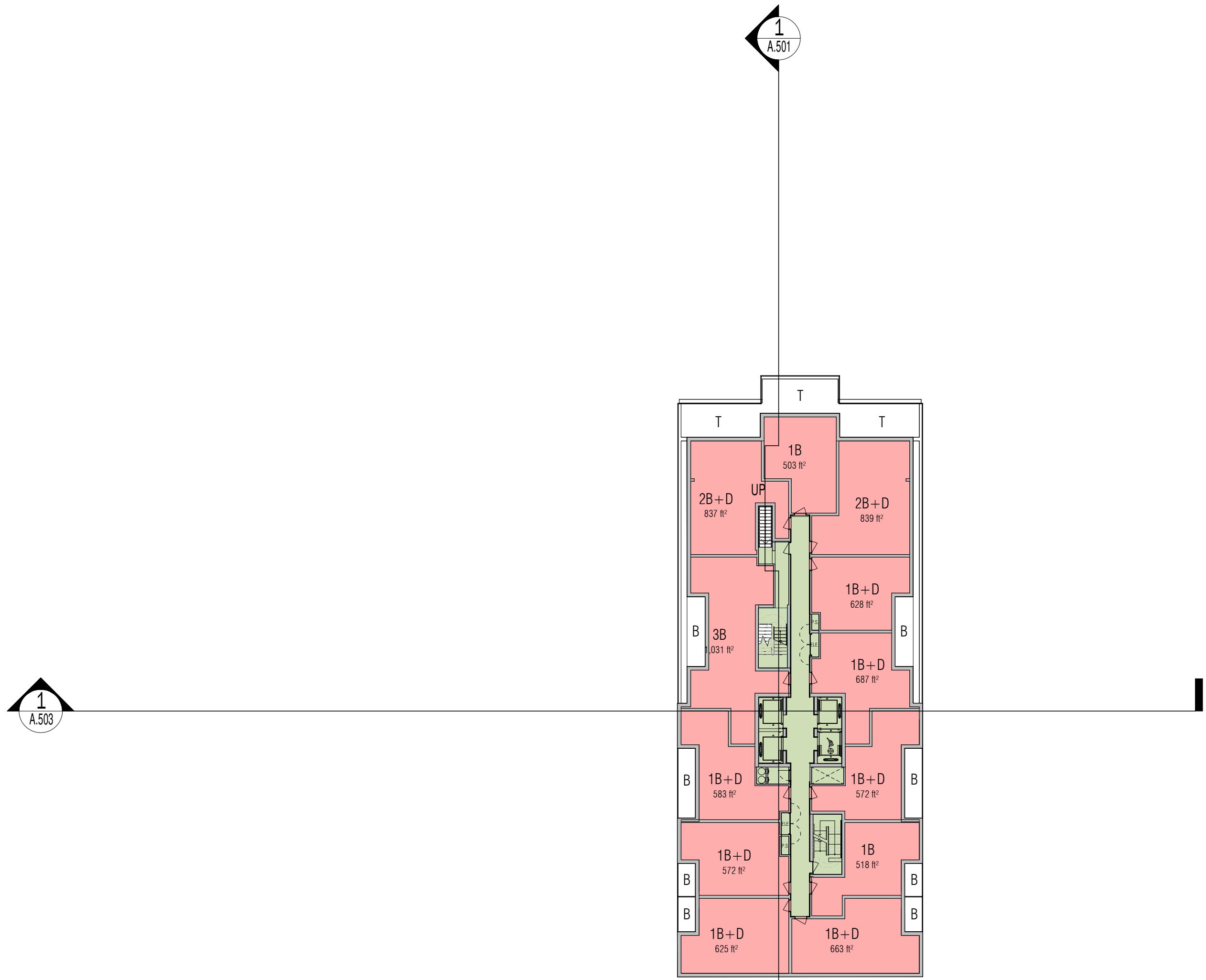
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01	JUL.04.2022	ISSUED FOR SPA SUBMISSION	B.G.
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12TH FLOOR PLAN

13TH FLOOR PLAN

- RESIDENTIAL AREA
- INDOOR AMENITY
- COMMERCIAL AREA
- COMMON AREA
- LANDSCAPE AREA
- LOCKER AND MECHANICAL
- PARKING AREA

No.	Date	Description	Issued by
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ONTARIO ASSOCIATION OF ARCHITECTS
 BERARDO EL GRAZIANI
 LICENCE 11684

PROPOSED MIXED USE DEVELOPMENT

8 SHOREVIEW	
HAMILTON	ONTARIO
Project Architect:	B.G.
Assistant Designer:	A.G.
Drawn By:	J.B./A.N./A.G.
Checked By:	D.B.
Plot Date:	JULY.20.2023
Job #	2053.22

12TH & 13TH FLOOR PLANS

1 : 300 A.307

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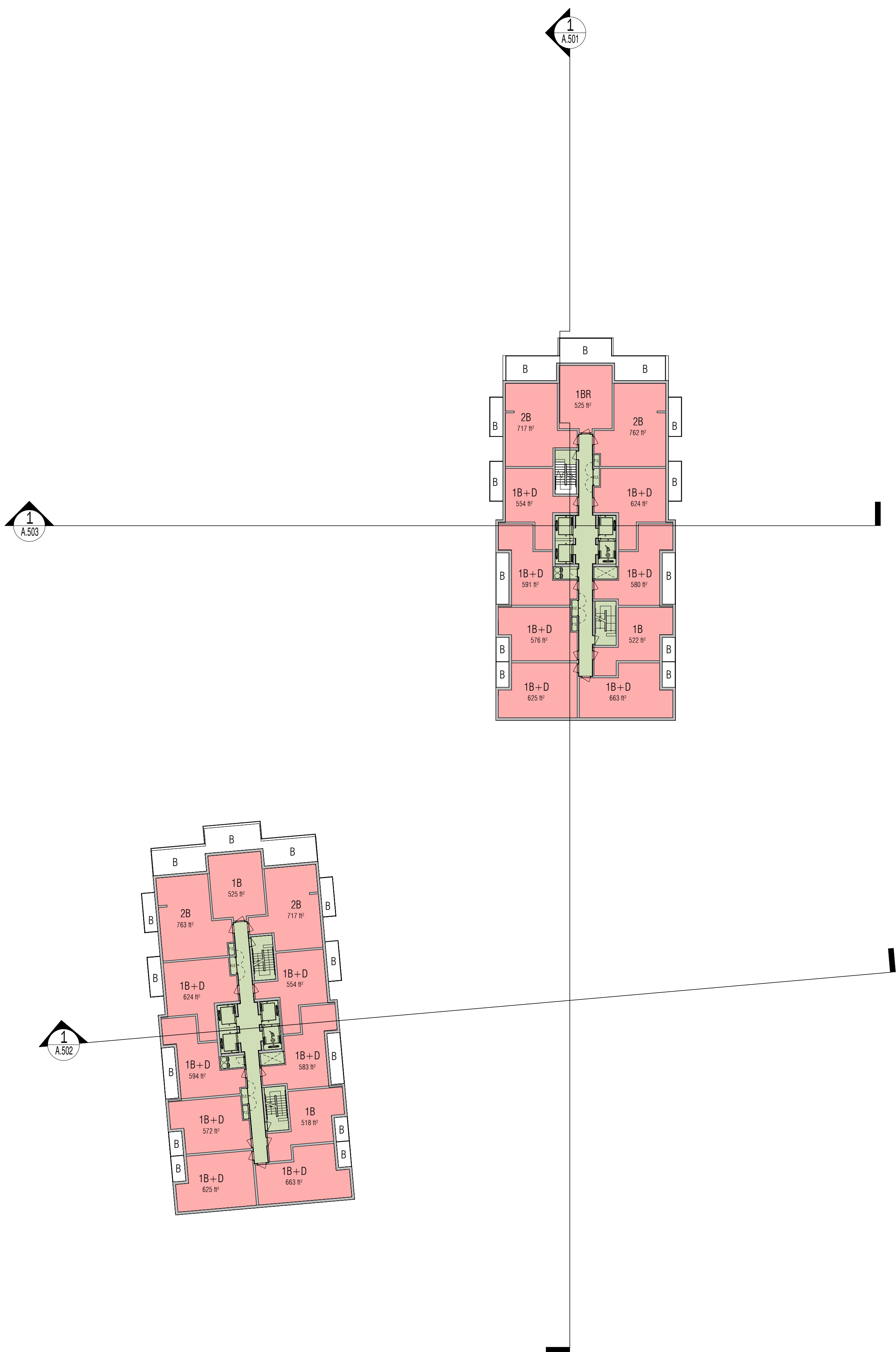
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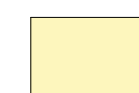


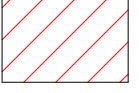

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TYP. FLOOR PLANS

	RESIDENTIAL AREA		INDOOR AMENITY
	COMMON AREA		LANDSCAPE AREA
	LOCKER AND MECHANICAL		PARKING AREA

No.	Date	Description	Issued by
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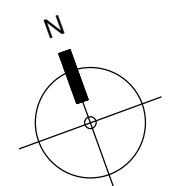
PROPOSED MIXED USE DEVELOPMENT
8 SHOREVIEW

HAMILTON ONTARIO

Project Architect: B.G.
 Assistant Designer: A.G.
 Drawn By: J.B./A.N./A.G.
 Checked By: D.B.
 Plot Date: JULY.20.2023
 Job #: 2053.22

TYP. FLOOR PLANS

1 : 300 A.308



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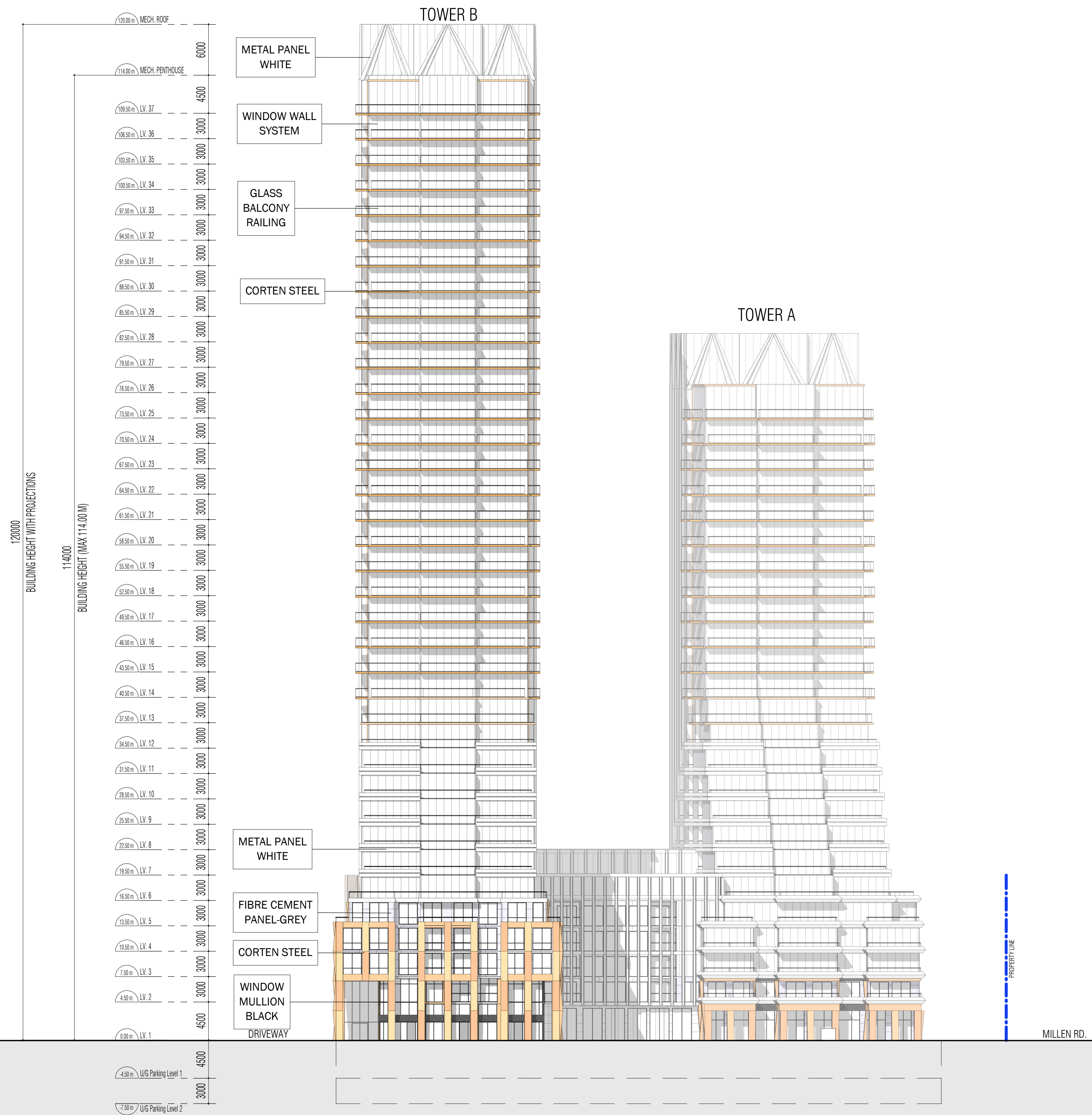
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02	JUL.20.2023	ISSUED FOR DRP SUBMISSION	B.G.



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PROPOSED MIXED USE DEVELOPMENT
 8 SHOREVIEW

HAMILTON		ONTARIO	
Project Architect:	B.G.	Assistant Designer:	A.G.
Drawn By:	J.B./A.N./A.G.	Checked By:	D.B.
Plot Date:	JULY.20.2023	Job #	2053.22

NORTH ELEVATION

1 : 300 A.401

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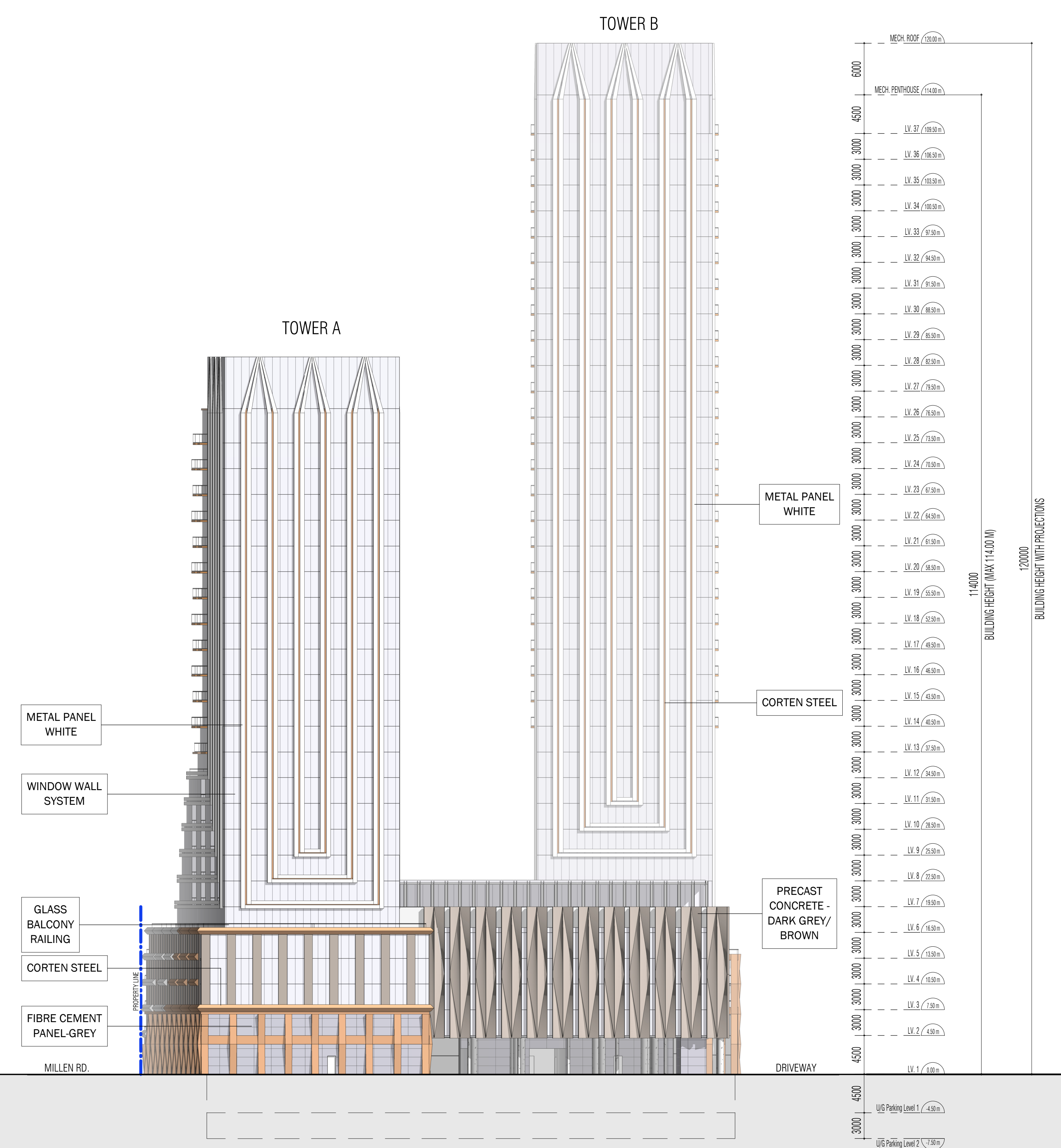
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PROPOSED MIXED USE DEVELOPMENT

8 SHOREVIEW

HAMILTON		ONTARIO	
Project Architect:	B.G.	Assistant Designer:	A.G.
Drawn By:	J.B./A.N./A.G.	Checked By:	D.B.
Plot Date:	JULY.20.2023	Job #	2053.22

SOUTH ELEVATION

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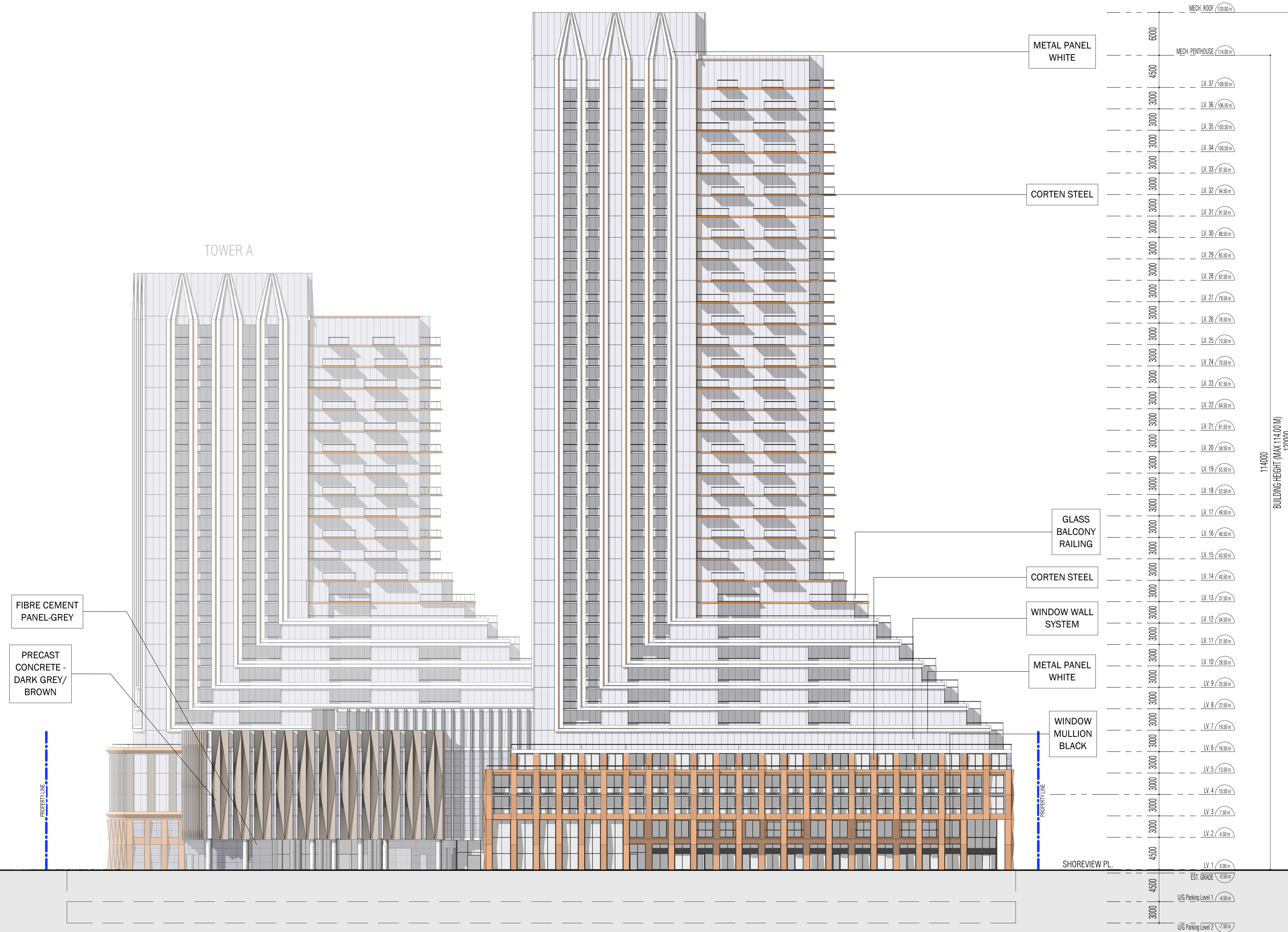
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TOWER B

TOWER A



METAL PANEL WHITE

CORTEN STEEL

GLASS BALCONY RAILING

CORTEN STEEL

WINDOW WALL SYSTEM

METAL PANEL WHITE

WINDOW MULLION BLACK

FIBRE CEMENT PANEL-GREY

PRECAST CONCRETE - DARK GREY/BROWN

MECH ROOF	120.00m
MECH FENTHOUSE	114.00m
LV.37	108.50m
LV.36	106.50m
LV.35	104.50m
LV.34	102.50m
LV.33	100.50m
LV.32	98.50m
LV.31	96.50m
LV.30	94.50m
LV.29	92.50m
LV.28	90.50m
LV.27	88.50m
LV.26	86.50m
LV.25	84.50m
LV.24	82.50m
LV.23	80.50m
LV.22	78.50m
LV.21	76.50m
LV.20	74.50m
LV.19	72.50m
LV.18	70.50m
LV.17	68.50m
LV.16	66.50m
LV.15	64.50m
LV.14	62.50m
LV.13	60.50m
LV.12	58.50m
LV.11	56.50m
LV.10	54.50m
LV.9	52.50m
LV.8	50.50m
LV.7	48.50m
LV.6	46.50m
LV.5	44.50m
LV.4	42.50m
LV.3	40.50m
LV.2	38.50m
LV.1	36.50m
EST. GRADE	35.00m
UG Parking Level 1	4.00m
UG Parking Level 2	-1.00m

11400
BUILDING HEIGHT (MAX 14100 M)
12000
BUILDING HEIGHT WITH PROJECTIONS

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GRAZIANI CORAZZA ARCHITECTS
8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8
PHONE: 905.755.2801 FAX: 905.755.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT
8 SHOREVIEW

HAMILTON ONTARIO

Project Architect: B.G.
Assistant Designer: A.G.
Drawn By: J.B./A.N./A.G.
Checked By: D.B.
Plot Date: JULY.20.2023
Job #: 2053.22

EAST ELEVATION

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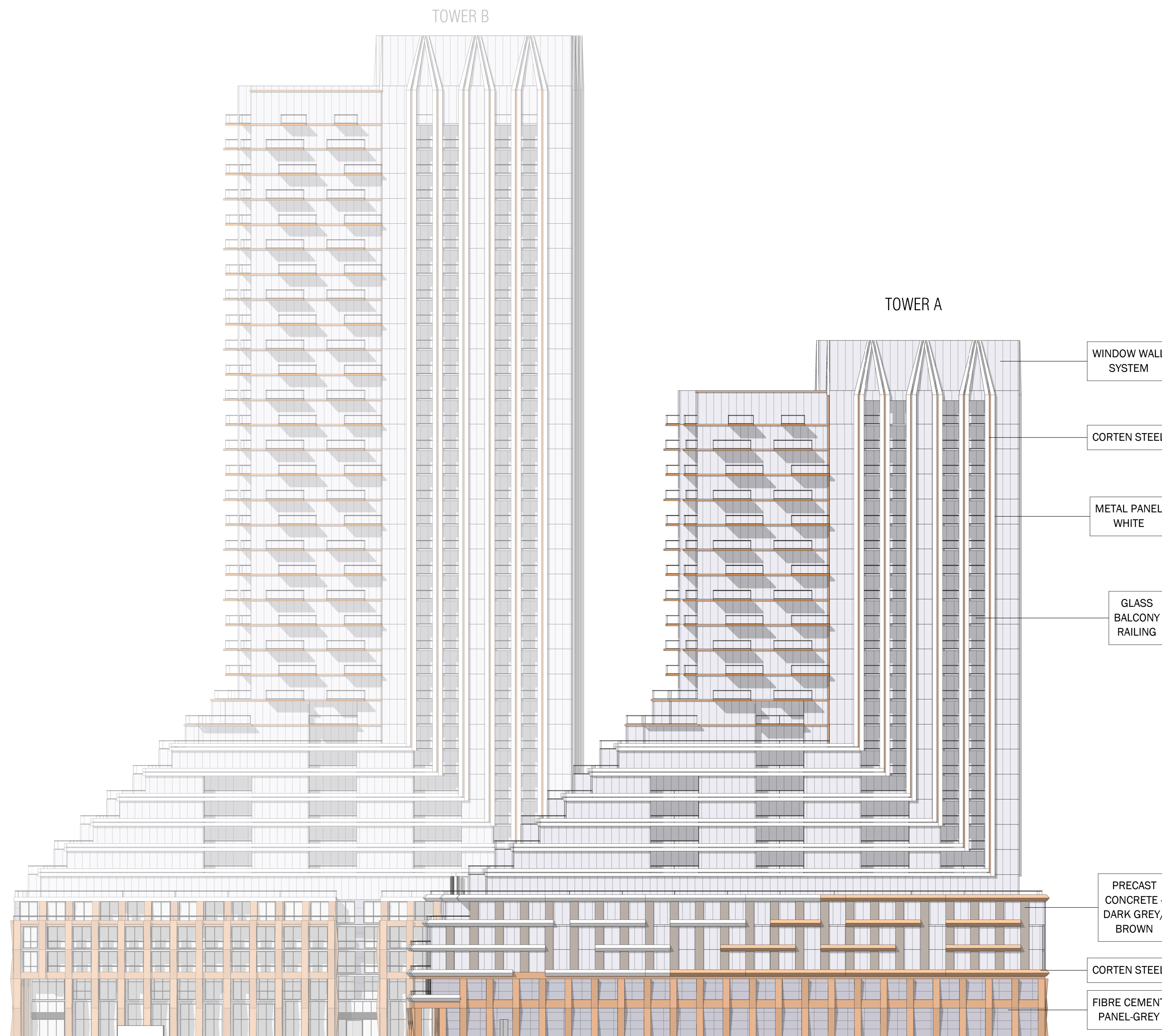
CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER:

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Issues:

No.	Date	Description	Issued by
01	JUL.04.2022	ISSUED FOR SPA SUBMISSION	B.G.
02	JUL.20.2023	ISSUED FOR DRP SUBMISSION	B.G.



No.	Date	Description	Issued by
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Issued for revisions

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 PHONE: 905.755.2801 FAX: 905.755.2844 WWW.GC-ARCHITECTS.COM

PROPOSED MIXED USE DEVELOPMENT

8 SHOREVIEW

HAMILTON ONTARIO

Project Architect: B.G.
 Assistant Designer: A.G.
 Drawn By: J.B./A.N./A.G.
 Checked By: D.B.
 Plot Date: JULY.20.2023
 Job #: 2053.22

WEST ELEVATION

1 : 300 A.404

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CONDITIONS FOR ELECTRONIC INFORMATION TRANSFER

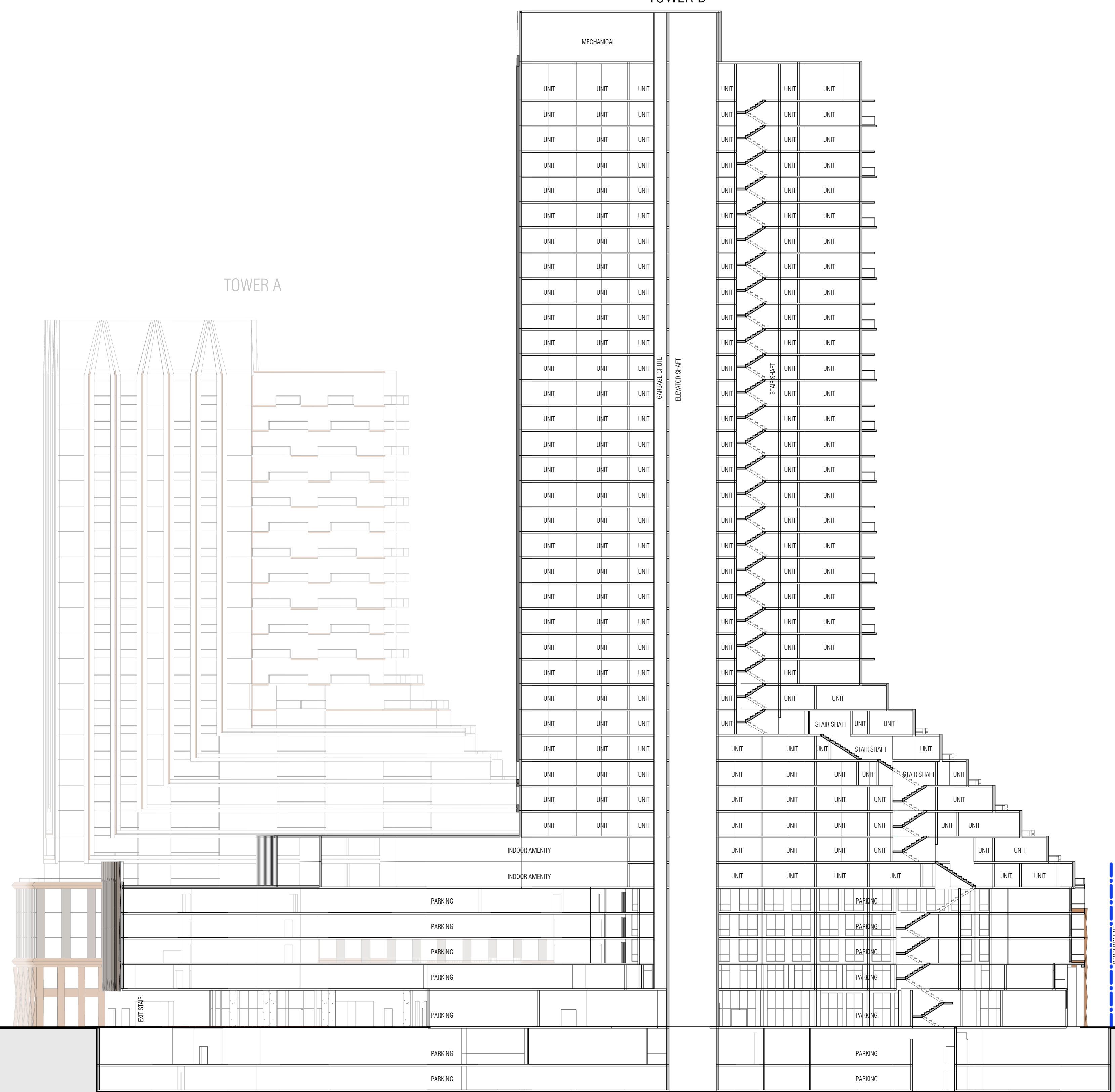
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02	JUL 20 2023	ISSUED FOR DRP SUBMISSION	B.G.

TOWER B



6000	MECH. ROOF (7200m)
4500	MECH. PENTHOUSE (1440m)
3000	LV 37 (1980m)
3000	LV 36 (1980m)
3000	LV 35 (1980m)
3000	LV 34 (1980m)
3000	LV 33 (1980m)
3000	LV 32 (1980m)
3000	LV 31 (1980m)
3000	LV 30 (1890m)
3000	LV 29 (1890m)
3000	LV 28 (1890m)
3000	LV 27 (1790m)
3000	LV 26 (1790m)
3000	LV 25 (1790m)
3000	LV 24 (1690m)
3000	LV 23 (1690m)
3000	LV 22 (1690m)
3000	LV 21 (1590m)
3000	LV 20 (1590m)
3000	LV 19 (1590m)
3000	LV 18 (1490m)
3000	LV 17 (1490m)
3000	LV 16 (1490m)
3000	LV 15 (1490m)
3000	LV 14 (1490m)
3000	LV 13 (1390m)
3000	LV 12 (1390m)
3000	LV 11 (1390m)
3000	LV 10 (1290m)
3000	LV 9 (1290m)
3000	LV 8 (1190m)
3000	LV 7 (1190m)
3000	LV 6 (1090m)
3000	LV 5 (1090m)
3000	LV 4 (1090m)
3000	LV 3 (1090m)
4500	LV 2 (480m)
4500	LV 1 (300m)
4500	EST. GRADE (-300m)
3000	UG Parking Level 1 (-450m)
3000	UG Parking Level 2 (-750m)

TOWER A

No.	Date	Description	Issued by
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Issued for revisions

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ONTARIO ASSOCIATION OF ARCHITECTS
 RERARDO EL GRAZIANI LICENCE 14084

PROPOSED MIXED USE DEVELOPMENT

8 SHOREVIEW

HAMILTON		ONTARIO	
Project Architect:	B.G.	Assistant Designer:	A.G.
Drawn By:	J.B. / A.N. / A.G.	Checked By:	D.B.
Plot Date:	JULY 20 2023	Job #	2053.22

BUILDING SECTIONS

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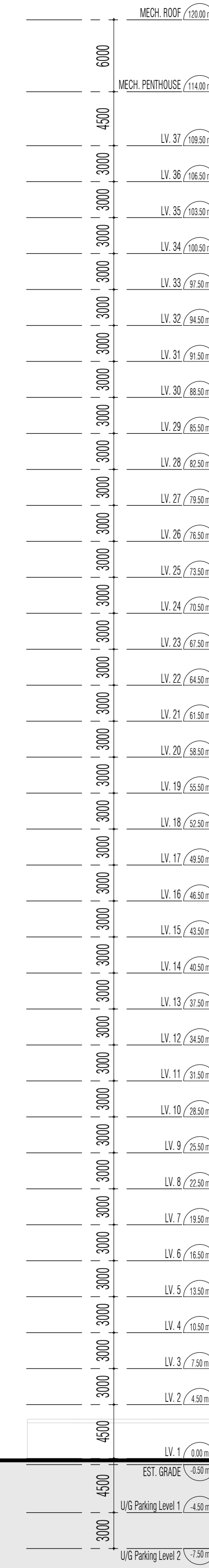
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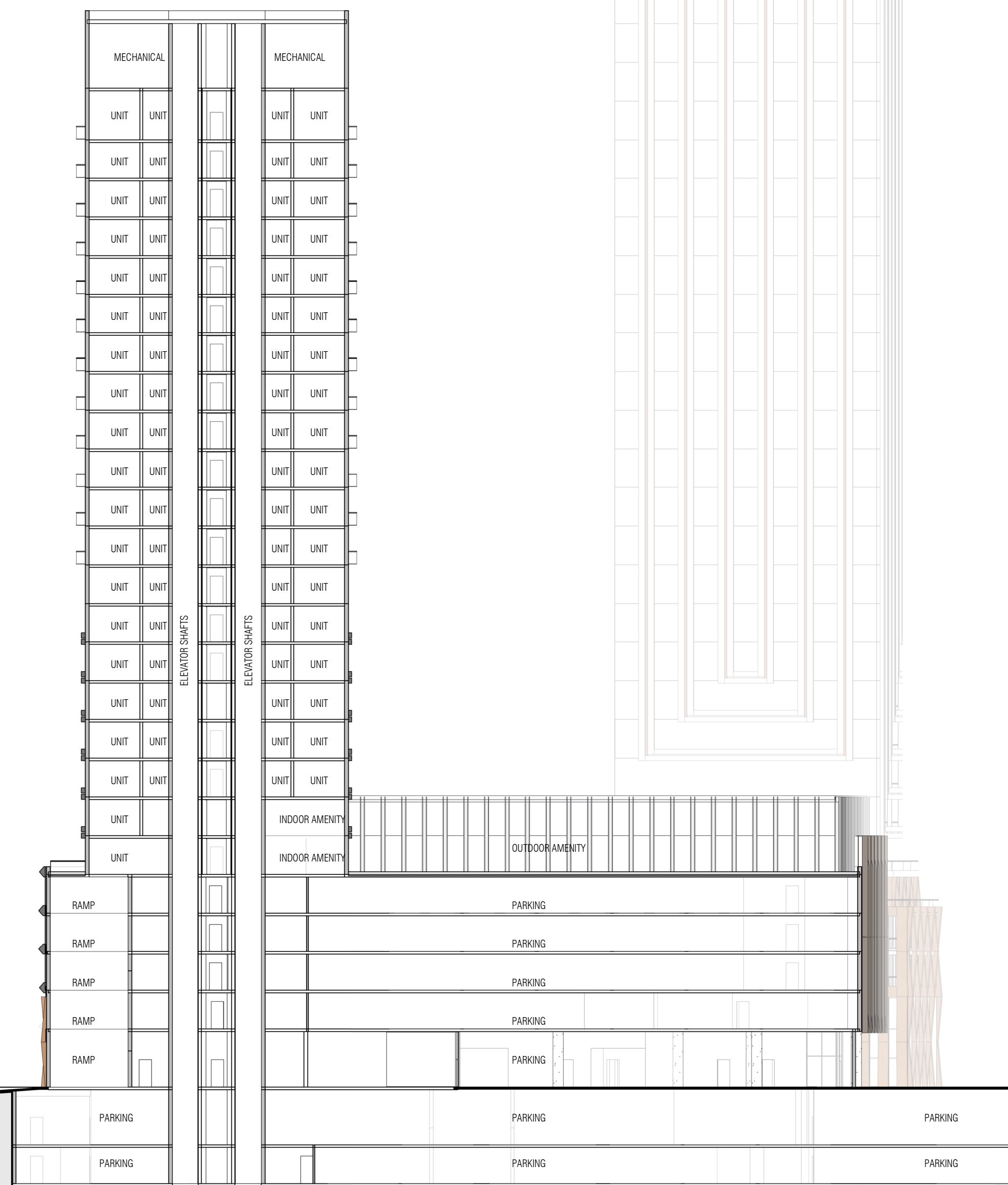
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TOWER B



TOWER A



No.	Date	Description	Issued by
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PROPOSED MIXED USE DEVELOPMENT

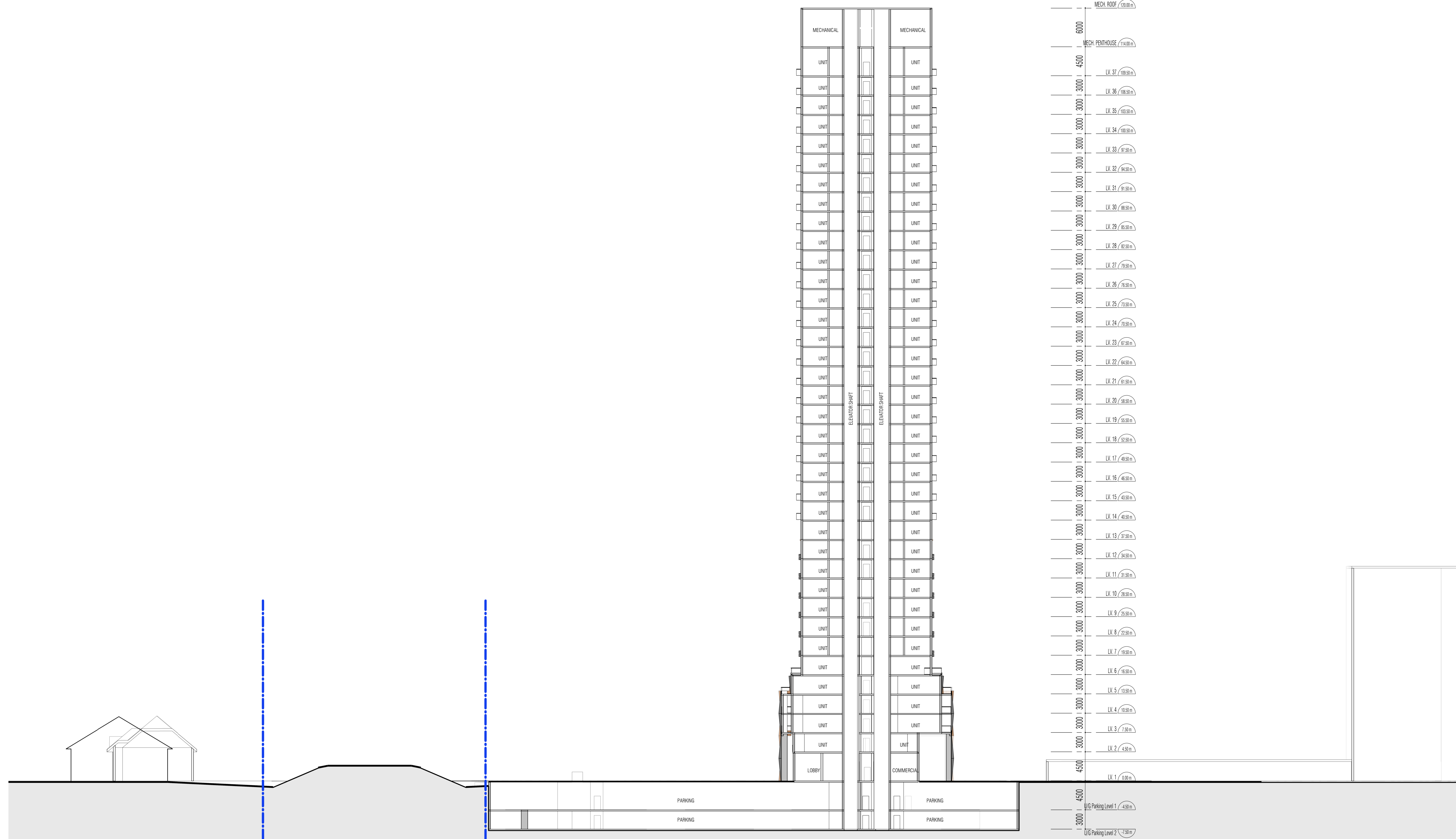
8 SHOREVIEW

HAMILTON		ONTARIO	
Project Architect:	B.G.	Assistant Designer:	A.G.
Drawn By:	J.B. / A.N. / A.G.	Checked By:	D.B.
Plot Date:	JULY 20 2023	Job #	2053.22

SECTION - TOWER A

1 : 300 A.502

TOWER B



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PROPOSED MIXED USE DEVELOPMENT

8 SHOREVIEW

HAMILTON ONTARIO

Project Architect: B.G.
 Assistant Designer: A.G.
 Drawn By: J.B. / A.N. / A.G.
 Checked By: D.B.
 Plot Date: JULY.20.2023
 Job #: 2053.22

SECTION - TOWER B

1:300 A.503



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PROPOSED MIXED USE DEVELOPMENT
8 SHOREVIEW

HAMILTON		ONTARIO	
Project Architect:	B.G.	Assistant Designer:	A.G.
Drawn By:	J.B./A.N./A.G.	Checked By:	D.B.
Plot Date:	JULY.20.2023	Job #	2053.22

PERSPECTIVE
A.601



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PROPOSED MIXED USE DEVELOPMENT

8 SHOREVIEW

HAMILTON		ONTARIO	
Project Architect:	B.G.		
Assistant Designer:	A.G.		
Drawn By:	J.B. / A.N. / A.G.		
Checked By:	D.B.		
Plot Date:	JULY 20 2023		
Job #	2053.22		

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PROPOSED MIXED USE DEVELOPMENT
8 SHOREVIEW

HAMILTON		ONTARIO	
Project Architect:	B.G.		
Assistant Designer:	A.G.		
Drawn By:	J.B./A.N./A.G.		
Checked By:	D.B.		
Plot Date:	JULY.20.2023		
Job #	2053.22		

PERSPECTIVE
A.603



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CORAZZA
ARCHITECTS**

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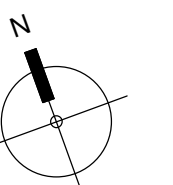


ONTARIO ASSOCIATION
of
ARCHITECTS
BERARDO EL GRAZIANI
LICENCE
14934

PROPOSED MIXED USE DEVELOPMENT
8 SHOREVIEW

HAMILTON		ONTARIO	
Project Architect:	B.G.	Assistant Designer:	A.G.
Drawn By:	J.B./A.N./A.G.	Checked By:	D.B.
Plot Date:	JULY.20.2023	Job #	2053.22

PERSPECTIVE



A.604



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Issues:

01	JUL.04.2022	ISSUED FOR SPA SUBMISSION	B.G.
02	JUL.20.2023	ISSUED FOR DRP SUBMISSION	B.G.



No.	Date	Description	Issued by
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8400 JANE STREET, BUILDING D SUITE 300, CONCORD, ONTARIO L4K 4L8
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PROPOSED MIXED USE DEVELOPMENT

8 SHOREVIEW

HAMILTON	ONTARIO
Project Architect:	B.G.
Assistant Designer:	A.G.
Drawn By:	J.B./A.N./A.G.
Checked By:	D.B.
Plot Date:	JULY.20.2023
Job #	2053.22

PODIUM PERSPECTIVES



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ONTARIO ASSOCIATION
of
ARCHITECTS

BERARDO EL GRAZIANI
LICENCE
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