

**Authority:** Item 13, Planning and Economic  
Development Committee  
Report: 08-021 (PED08244)  
CM: November 12, 2008

**Bill No. 261**

**CITY OF HAMILTON**

BY-LAW NO. 08-261

To Adopt:

Official Plan Amendment No. 67 to the former Township of Glanbrook Official Plan;

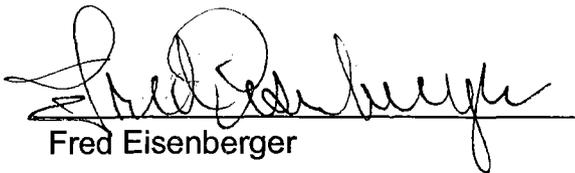
Respecting:

**1970 Rymal Road East**

**NOW THEREFORE** the Council of the City of Hamilton enacts as follows:

1. Amendment No. 67 to the Official Plan of the former Township of Glanbrook Planning Area consisting of Schedule "1", hereto annexed and forming part of this by-law, is hereby adopted.

**PASSED and ENACTED** this 12<sup>th</sup> day of November, 2008



Fred Eisenberger  
Mayor



Rose Caterini  
Acting City Clerk

**Amendment No. 67**

**to the**

**Official Plan of the former Township of Glanbrook**

The following text, together Schedule "I", "Rymal Road Secondary Plan Land Use Plan", of the Official Plan of the former Township of Glanbrook, attached hereto, constitute Official Plan Amendment No. 67.

**Purpose:**

The purpose of this Amendment is increase the maximum gross leaseable floor area of any individual commercial establishment and the maximum gross leaseable floor area of any group of Local Commercial Uses.

**Location:**

The lands affected by this Amendment are known municipally as 1970 Rymal Road East.

**Basis:**

The intent of the Amendment is to allow for development that maximizes the sites development potential. The basis for the redesignation is as follows:

- The proposed development is consistent with the Provincial Policy Statement.
- The proposed development is consistent with the intent of the Places to Grow Plan.
- The proposed development conforms with the Region of Hamilton-Wentworth Official Plan.
- The proposed development allows for a more intense form of development, which maximizes the development potential of the property while maintaining the intent of the Local Commercial designation.

**Actual Changes:**

**Schedule Changes**

1. That Schedule "I", Rymal Road Secondary Plan Land Use Plan, be revised by identifying the subject lands as OPA No. 67, as shown on the attached Schedule "I" of this Amendment.

Text Changes

2. That Section B.3.2.5.3, Local Commercial, be amended by adding the following subsection:

“(f) Notwithstanding Section B.2.1.2.c and B.3.2.5.3.c, the following shall apply to the lands located at the southeast corner of Rymal Road East and Fletcher Road:

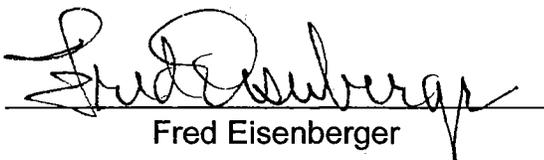
The maximum gross leaseable floor area of any group of Local Commercial uses shall be 2,500 square metres. The maximum gross leaseable floor area of any individual commercial establishment shall be not more than half of the total gross leaseable floor area provided on the site.”

**Implementation:**

An implementing Zoning By-law Amendment will give effect to the intended use on the subject lands.

This is Schedule "1" to By-law No. 08-261, passed on the 12<sup>th</sup> day of November, 2008.

**The  
City of Hamilton**

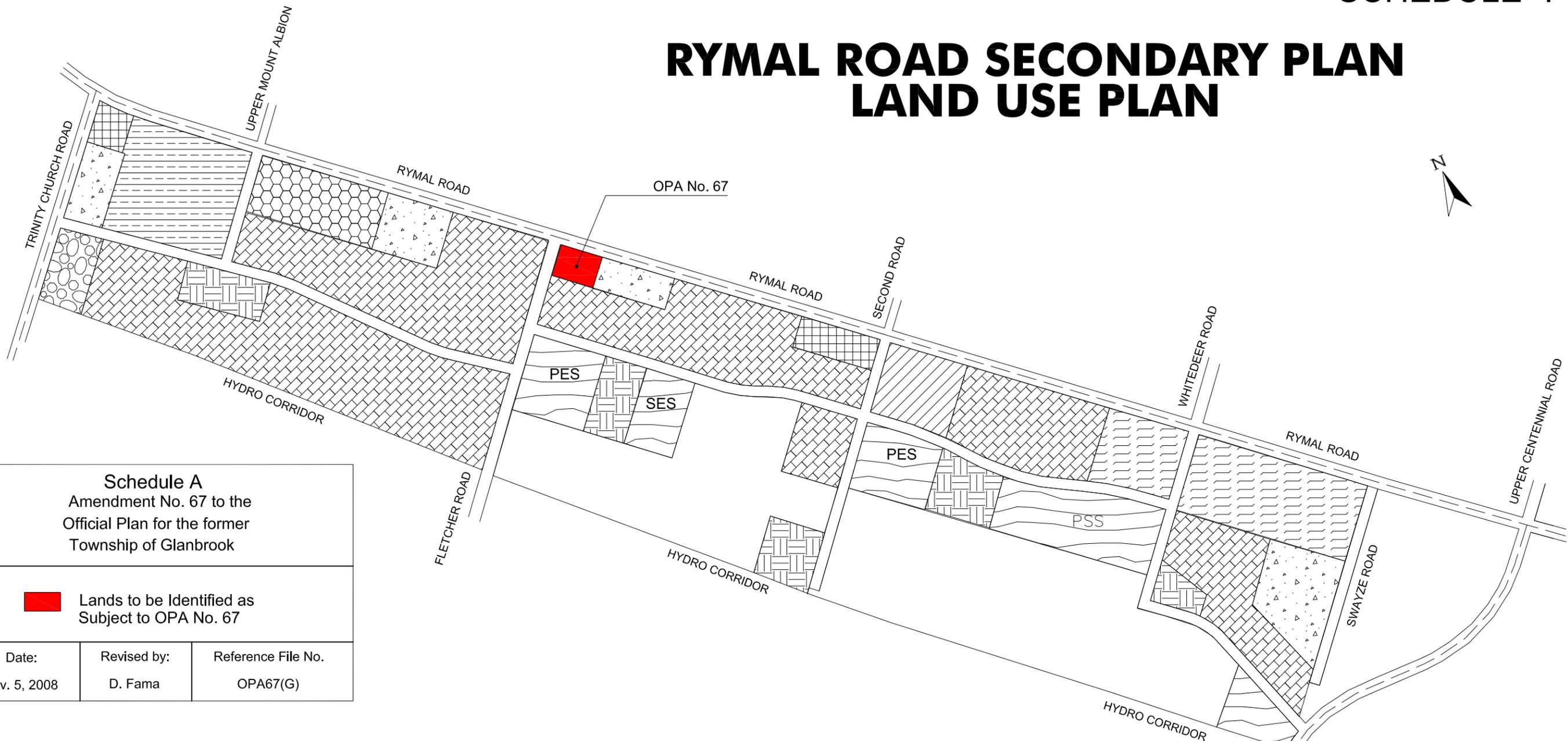


Fred Eisenberger  
Mayor



Rose Caterini  
Acting City Clerk

# RYMAL ROAD SECONDARY PLAN LAND USE PLAN



<b>Schedule A</b> Amendment No. 67 to the Official Plan for the former Township of Glanbrook		
Lands to be Identified as Subject to OPA No. 67		
Date:	Revised by:	Reference File No.
Nov. 5, 2008	D. Fama	OPA67(G)

## LEGEND

	LOW DENSITY RESIDENTIAL		MEDIUM TO HIGH DENSITY RESIDENTIAL		INSTITUTIONAL	PSS - PUBLIC SECONDARY SCHOOL PES - PUBLIC ELEMENTARY SCHOOL SES - SEPARATE ELEMENTARY SCHOOL		ARTERIAL ROAD
	LOW TO MEDIUM DENSITY RESIDENTIAL		PUBLIC PARK		LOCAL COMMERCIAL			COLLECTOR ROAD
	MEDIUM DENSITY RESIDENTIAL		STORM WATER MANAGEMENT AREA		SERVICE RECREATIONAL COMMERCIAL			LOCAL ROAD
	NEIGHBOURHOOD COMMERCIAL		GENERAL COMMERCIAL					