

**Authority:** Item 10, Economic Development  
and Planning Committee  
Report: 10-001 (PED10014)  
CM: January 27, 2010

**Bill No. 015**

**CITY OF HAMILTON**

**BY-LAW NO. 10-015**

To Adopt:

Official Plan Amendment No. 155 to the former City of Stoney Creek Official Plan;

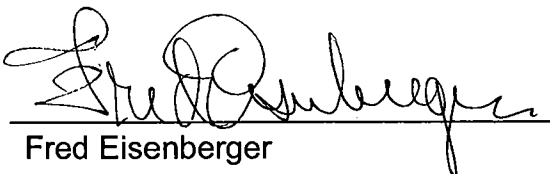
Respecting:

**Lands Located on the west side of Upper Centennial Parkway, south of Highgate Drive, and known as Part of Lot 25, Concession 8, Stoney Creek**

**NOW THEREFORE** the Council of the City of Hamilton enacts as follows:

1. Amendment No. 155 to the Official Plan of the former City of Stoney Creek Planning Area consisting of Schedule "1", hereto annexed and forming part of this by-law, is hereby adopted.

**PASSED** this 27<sup>th</sup> day of January, 2010



---

Fred Eisenberger  
Mayor



---

Kevin C. Christenson  
City Clerk

**Amendment No. 155**

**to the**

**Official Plan for the former City of Stoney Creek**

The following text, together with Schedule "A", Schedule "A" - General Land Use Plan and Schedule "B", Schedule "A3" - Secondary Plan - West Mountain Planning District (Heritage Green), of the Official Plan of the former City of Stoney Creek, attached hereto, constitute Official Plan Amendment No. 155.

**Purpose:**

The purpose of this Amendment is to redesignate the subject lands from "Low Density Residential" to "Medium Density Residential" on Schedule "A3" Secondary Plan - West Mountain Planning District (Heritage Green), to permit the subject land to be developed for street townhouses.

**Location:**

The lands affected by this Amendment are located on the west side of Upper Centennial Parkway, north of Rymal Road East and South of Highgate Drive, in the former City of Stoney Creek.

**Basis:**

The intent of the Amendment is to permit a medium density residential development in the form of street townhouse dwellings. The basis for the redesignation is as follows:

- The proposed Amendment is consistent with the Provincial Policy Statement, and conforms to the Growth Plan for the Greater Golden Horseshoe.
- It conforms with and implements the "Urban Area" designation of the Hamilton-Wentworth Official Plan.
- It conforms with the "Residential" designation, and implements the intensification policies of the City of Stoney Creek Official Plan, which also supports the provision of a full range of housing types.
- The use is compatible with the existing and proposed residential character of the surrounding neighbourhood.

- The proposed development is located at the periphery of the residential neighbourhood, and is adjacent to an arterial road.

**Actual Changes:**

1. Schedule "A", General Land Use Plan, be revised by identifying the subject lands as O.P.A. No. 155, as shown on the attached Schedule "A" to this Amendment.
2. Schedule "A3", Secondary Plan - West Mountain Planning District (Heritage Green), be revised by redesignating the subject lands from "Low Density Residential" to "Medium Density Residential", and identifying the subject lands as O.P.A. No. 155, as shown on the attached Schedule "B" to this Amendment.

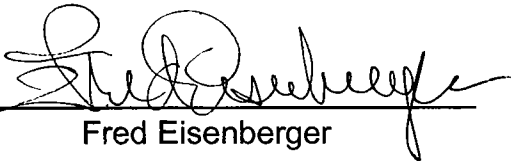
**Implementation:**

An implementing Zoning By-law Amendment will give effect to the intended use on the subject lands.


This is Schedule "1" to By-law No. 10-015, passed on the 27<sup>th</sup> day of January, 2010.

The

City of Hamilton



Fred Eisenberger  
Mayor

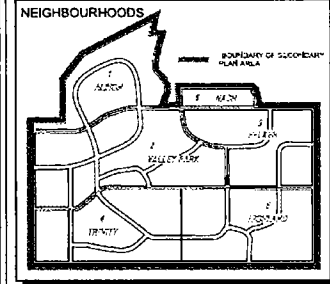


Kevin C. Christenson  
City Clerk



# CITY OF STONEY CREEK OFFICIAL PLAN

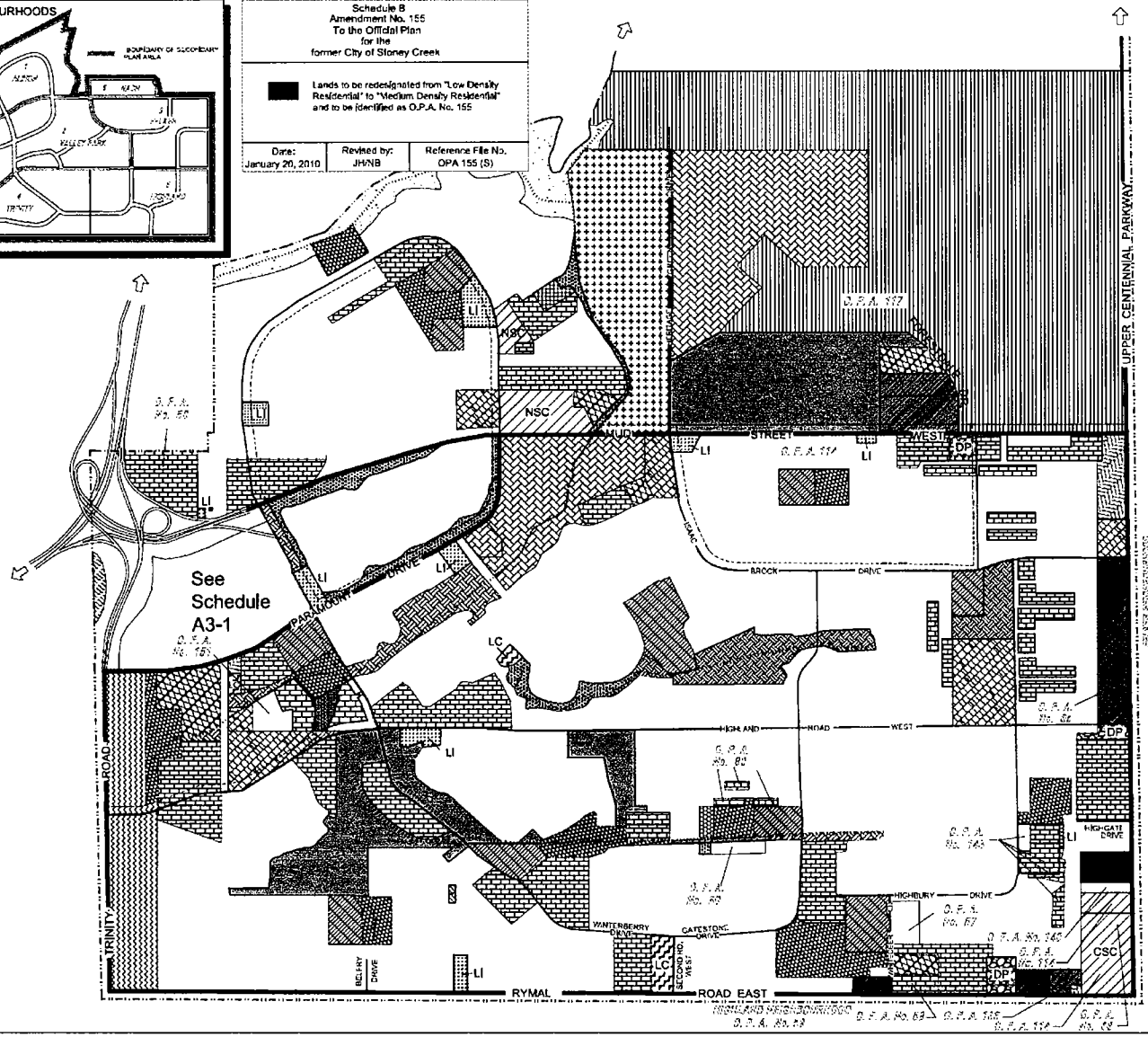
## Schedule "A3" Secondary Plan West Mountain Planning District (Heritage Green)



Schedule B  
Amendment No. 155  
To the Official Plan  
for the  
former City of Stoney Creek

■ Lands to be redesignated from "Low Density Residential" to "Medium Density Residential" and to be identified as O.P.A. No. 155

Date: January 20, 2010    Revised by: JHNB    Reference File No. OPA 155 (S)



Legend

- Land Use Designations**
- |   |                                   |
|---|-----------------------------------|
| Community Shopping Centre                 | Low Density Residential           |
| Neighborhood Shopping Centre              | Medium Density Residential        |
| General Commercial                        | Medium-High Density Residential   |
| Local Commercial                          | Local Institutional               |
| Highway Commercial                        | Institutional                     |
| Service Commercial                        | Escarpment Natural Area           |
| Elementary School                         | Parkette                          |
| DP - Detention Pond                       | Community Park                    |
| Neighbourhood Park                        | General Open Space                |
| Special Policy Area A                     | City Wide Park                    |
| Special Policy Area B                     | District Boundary                 |
| Special Policy Area D                     | Arterial Road                     |
| Open Space - Community Park               | Collector Road                    |
| DP - Detention Pond *                     | Off Street Bikeway and/or Walkway |
| Parkland designations deferred in OPA 126 | On Street Bikeway                 |



APPROVED AS O. P. A. No. 23 AND AMENDMENTS THERE TO  
December 2009