

Authority: Item 15, Economic Development
and Planning Committee
Report 10-018 (PED10208)
CM: September 29, 2010

Bill No. 275

CITY OF HAMILTON

BY-LAW NO. 10-275

To Adopt:

Official Plan Amendment No. 133 to the former Town of Ancaster Official Plan;

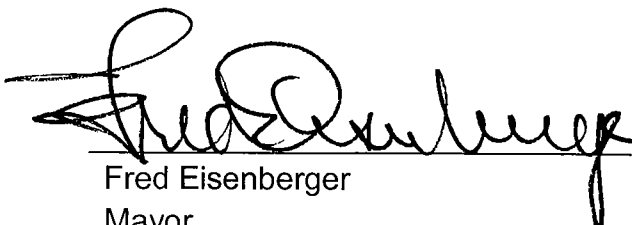
Respecting:

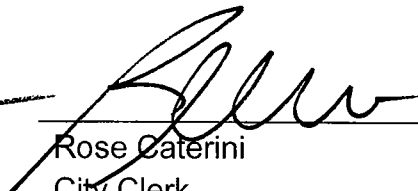
**95 Poplar Street
(Former Town of Ancaster)**

NOW THEREFORE the Council of the City of Hamilton enacts as follows:

1. Amendment No. 133 to the Official Plan of the former Town of Ancaster Planning Area consisting of Schedule "1", hereto annexed and forming part of this by-law, is hereby adopted.

PASSED this 13th day of October, 2010.


Fred Eisenberger
Mayor


Rose Caterini
City Clerk

Amendment No. 133

to the

Official Plan for the Former Town of Ancaster

The following text, together with Schedule "A" (Schedule "F-1" - Specific Policy Areas), attached hereto, constitutes Official Plan Amendment No. 133 to the Official Plan of the former Town of Ancaster.

Purpose:

The purpose of this Amendment is to provide policy to recognize the lands on the north side of Poplar Street as part of the Jerseyville "Rural Settlement Area", in order to permit Hamlet residential uses.

Location:

The lands affected by this Amendment are known municipally as 95 Poplar Street, Ancaster.

Basis:

The intent of the Amendment is to permit non-farm Hamlet residential uses. The basis for the re-designation is as follows:

- The proposed development is consistent with the Provincial Policy Statement and Greenbelt legislation.
- The proposed development conforms with the Region of Hamilton-Wentworth Official Plan.
- The proposed development conforms with the intent of the Town of Ancaster Official Plan.

Actual Changes:

Text Changes:

1. Section 5.7 OTHER SPECIFIC POLICY AREAS hereby amended by adding the following text after Subsection 5.7.56:

5.7.56

Notwithstanding Subsection 5.8.8 i), the lands located on the north side of Poplar Street, on Part Lot 18, Concession 3, Geographic Township of Ancaster, and identified as Specific Policy Area 64 on Schedule "F-1", shall only be used for Hamlet Residential purposes on lots with a minimum size of 0.75 hectares.

Schedule Changes:

2. Schedule "F-1" - SPECIFIC POLICY AREAS is hereby amended by identifying the subject lands as Area 64, as shown on the attached Schedule "A" of this Amendment.

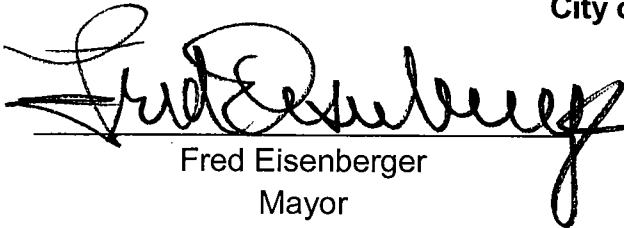
Implementation:

An implementing Zoning By-law Amendment will give effect to the intended use on the subject lands, and a plan of subdivision will be prepared to create each of the individual residential lots.

This is Schedule "1" to By-law No. 10-275, passed on the 13th day of October, 2010.

The

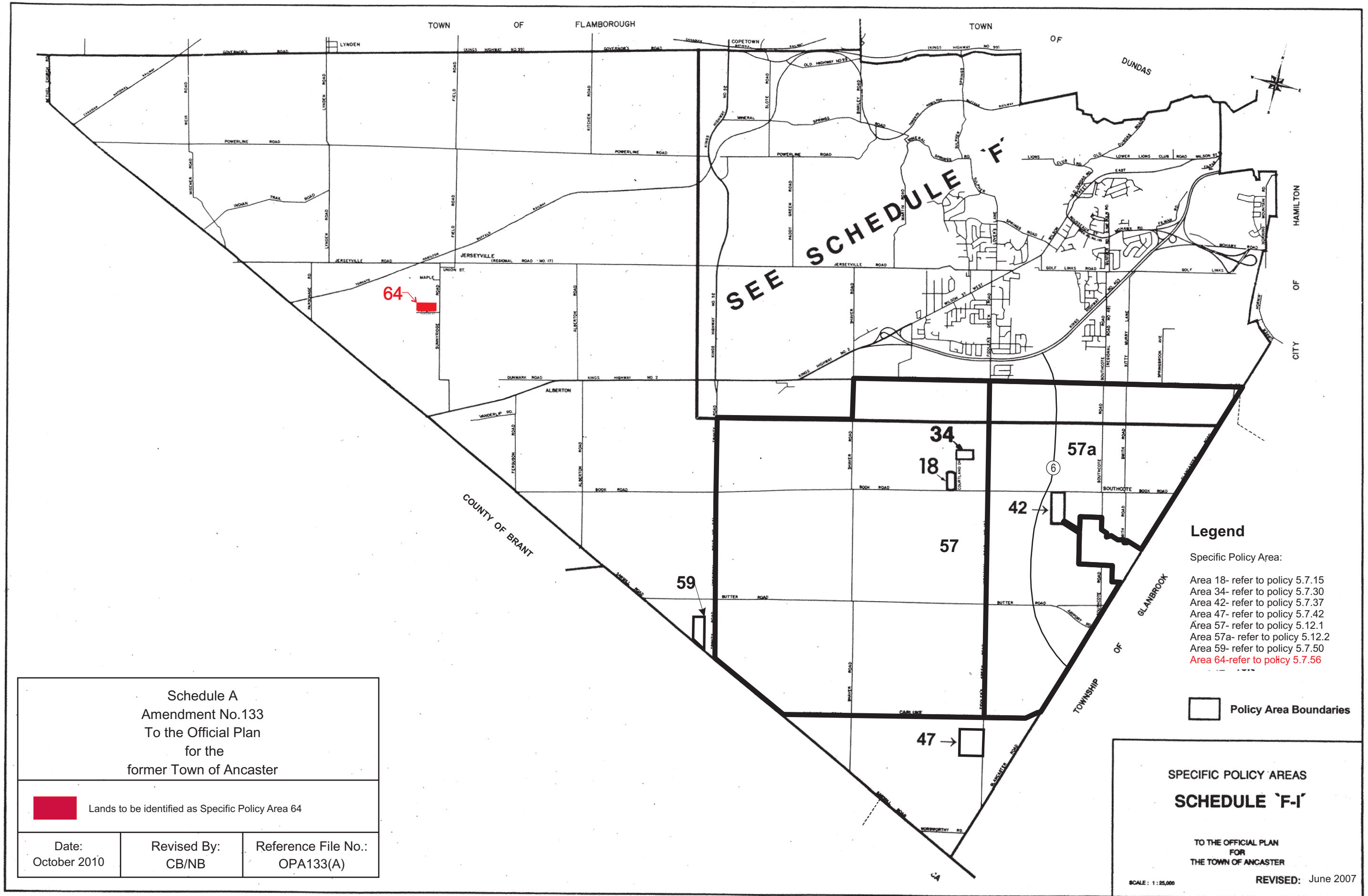
City of Hamilton



Fred Eisenberger
Mayor



Rose Caterini
City Clerk



Schedule A
Amendment No.133
To the Official Plan
for the
former Town of Ancaster

Lands to be identified as Specific Policy Area 64

Date: October 2010	Revised By: CB/NB	Reference File No.: OPA133(A)
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Legend

Specific Policy Area:

- Area 18- refer to policy 5.7.15
- Area 34- refer to policy 5.7.30
- Area 42- refer to policy 5.7.37
- Area 47- refer to policy 5.7.42
- Area 57- refer to policy 5.12.1
- Area 57a- refer to policy 5.12.2
- Area 59- refer to policy 5.7.50
- Area 64- refer to policy 5.7.56

Policy Area Boundaries

SPECIFIC POLICY AREAS
SCHEDULE 'F-1'

TO THE OFFICIAL PLAN
FOR
THE TOWN OF ANCASTER

SCALE: 1:25,000
REVISED: June 2007