

**Bill No. 183**

**CITY OF HAMILTON**

**BY-LAW NO. 15-183**

**To Amend Zoning By-law No. 05-200,  
Respecting Lands Located at 82 Parkside Drive (Flamborough)**

**WHEREAS** the City of Hamilton has in force several Zoning By-laws which apply to the different areas incorporated into the City by virtue of the City of Hamilton Act, 1999, S.O. 1999, Chap. 14;

**AND WHEREAS** it is desirable to enact a new Zoning By-law to comprehensively deal with zoning throughout the City;

**AND WHEREAS** the City of Hamilton is the lawful successor to the former Municipalities identified in Section 1.7 of By-law No. 05-200;

**AND WHEREAS** Zoning By-law No. 05-200 was enacted on the 25<sup>th</sup> day of May, 2005;

**AND WHEREAS** the Council of the City of Hamilton, in adopting Item 11 of Report 15-012 of the Planning Committee, at its meeting held on the 14<sup>th</sup> day of August, 2015, which recommended that Zoning By-law No. 05-200 be amended as hereinafter provided;

**AND WHEREAS** this By-law is in conformity with the Urban Hamilton Official Plan.

**NOW THEREFORE** the Council of the City of Hamilton enacts as follows:

1. That Map No. 515 of Schedule "A" – Zoning Maps, of Zoning By-law No. 05-200, be amended by changing the zoning from the Prestige Business Park (M3) Zone to the Prestige Business Park (M3, 469, H58) Holding Zone, Modified, for the lands, the extent and boundaries of which are shown on Schedule "A" annexed hereto and forming part of this By-law.
2. That Schedule "C" – Special Exceptions, of By-law No. 05-200, is amended by adding an additional special exception as follows:

"469. In addition to Section 9.3 of this By-law, within the lands zoned Prestige Business Park (M3, 469, H58) Holding Zone, Modified, identified on Map 515 of Schedule "A" to By-law 05-200 and described as 82 Parkside Drive, the following special provisions shall apply:

a) **PERMITTED USES**

In addition to Subsection 9.3.1 Permitted Uses, a motor vehicle car washing establishment with accessory pet washing bays and motor vehicle vacuuming bays shall be permitted.

**b) REGULATIONS**

- i) Minimum Lot Area                      3,500 square metres
- ii) Parking                                      Notwithstanding Subsection 5.6 c) iv. Parking Schedules, five (5) parking spaces shall be provided for a motor vehicle car washing establishment with accessory pet washing bays and motor vehicle vacuuming bays, having a total maximum gross floor area of 715 square metres.

3. That Schedule "D" – Holding Provisions, of By-law No. 05-200 be amended by adding an additional Holding Provision as follows:

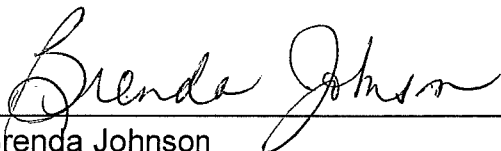
"58. That notwithstanding Section 9.3 of this By-law, on those lands zoned Prestige Business Park (M3, 469) Zone, on Map 515 of Schedule "A", no development shall be permitted until such time as:

- (i) The owner has paid all costs associated with the westerly extension of the sanitary sewer from Sadielou Boulevard / Hollybush Drive along Parkside Drive, including the private sanitary drain connection, private storm drainage connection and private water service, to the satisfaction of the Senior Director of Growth Management.
- (ii) The owner has applied for and received final Site Plan approval, to the satisfaction of the Manager of Development Planning, Heritage and Design.

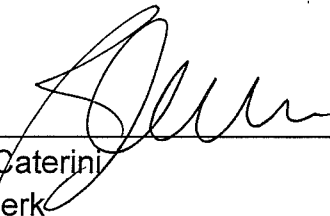
3. That the Clerk is hereby authorized and directed to proceed with the giving of notice of the passing of this By-law, in accordance with the *Planning Act*.

4. That this By-law No. 15-183 shall come into force and be deemed to come into force in accordance with Subsection 34(21) of the *Planning Act*, either upon the date of passage of this By-law or as otherwise provided by the said subsection.

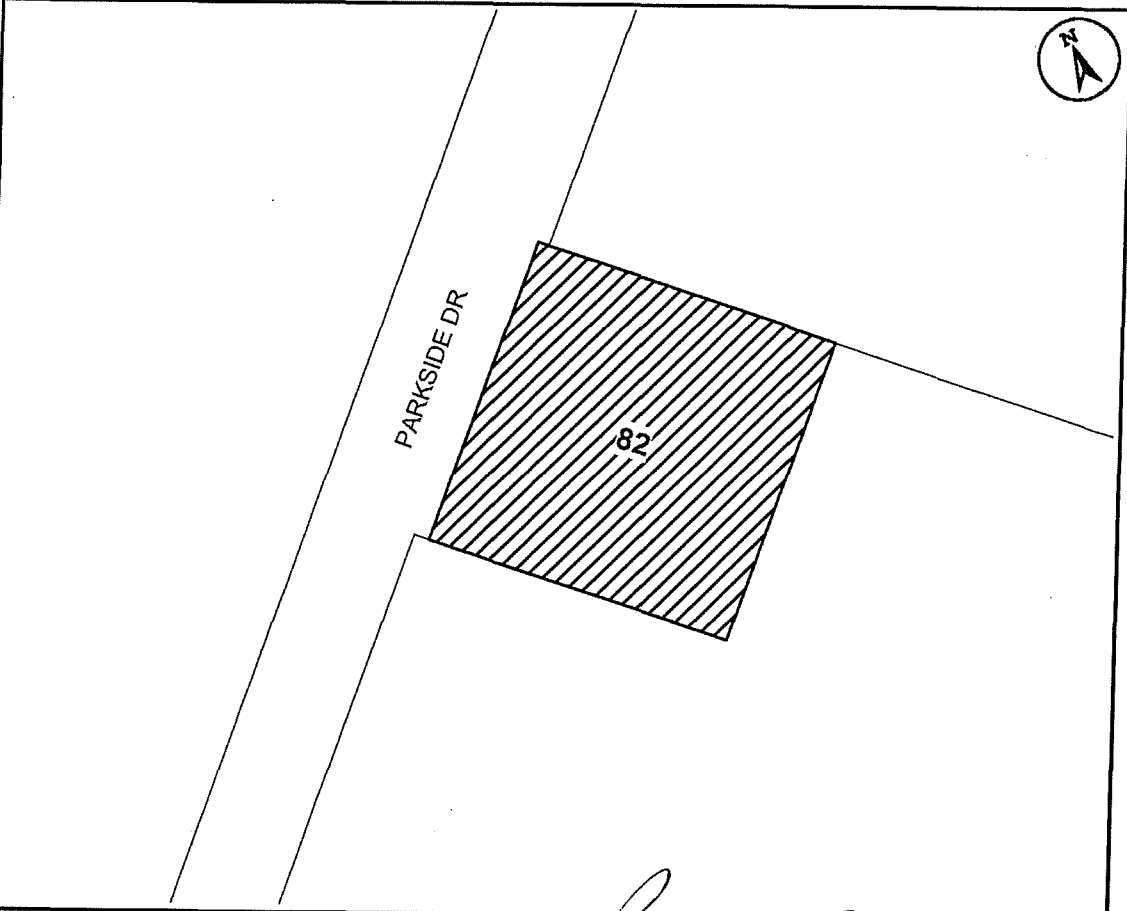
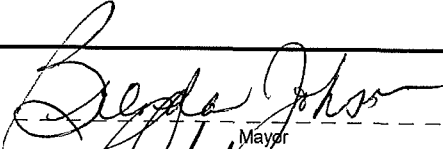


**PASSED** this 14<sup>th</sup> day of August, 2015.



Brenda Johnson  
Deputy Mayor



Rose Caterini  
City Clerk

		<p>This is Schedule "A" to By-law No. 15-183                  Passed the <u>14th</u> day of <u>August</u>, 2015</p>		 Mayor
		<p><b>Schedule "A"</b></p> <p>Map Forming Part of                  By-law No. 15-183</p> <p>to Amend By-law No. 05-200                  Map 515</p>		<p><b>Subject Property</b>                  82 Parkside Drive, Flamborough</p> <p> Change in Zoning from the Prestige Business Park (M3) Zone to the Prestige Business Park (M3, 469, H58) Zone.</p>
<p>Scale: N.T.S.</p>	<p>File Name/Number: ZAR-15-012</p>	 Hamilton		
<p>Date: June 11, 2015</p>	<p>Planner/Technician: DMVS</p>			
<p>PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT</p>				