

Authority: Item 14, Planning Committee
Report 15-012 (PED15120)
CM: August 14, 2015

Bill No. 185

CITY OF HAMILTON

BY-LAW NO. 15-185

To Adopt:

Official Plan Amendment No. 38 to the Urban Hamilton Official Plan

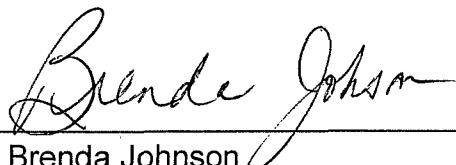
Respecting:

Lands located on 470 Parkside Drive and 493 Dundas Street East, within the former Town of Flamborough, Hamilton

NOW THEREFORE the Council of the City of Hamilton enacts as follows:

1. Amendment No. 38 to the Urban Hamilton Official Plan consisting of Schedule "1", hereto annexed and forming part of this by-law, is hereby adopted.

PASSED this 14th day of August, 2015.


Brenda Johnson
Deputy Mayor


Rose Caterini
City Clerk

Urban Hamilton Official Plan Amendment No. 38

The following text constitutes Official Plan Amendment No. 38 to the Urban Hamilton Official Plan.

1.0 Purpose and Effect:

The purpose and effect of this Amendment is to remove the Mattamy (Waterdown) Subdivision lands, located at 470 Parkside Drive and 493 Dundas Street East, Flamborough, from the UF-2 , Flamborough Area Specific policies of Volume 3 of the UHOP and from Map F-2 (Volume 3, Area Specific Policies), and to establish Urban Site Specific Area – UFN-4 on lands located at 470 Parkside Drive, Flamborough to recognize the lands under the Neighbourhoods designation and to permit the minimum density to be 37 units per hectare for the Medium Density Residential development within the Neighbourhoods designation.

2.0 Location:

The lands affected by this Amendment are known municipally as 470 Parkside Drive and 493 Dundas Street East, in the former Town of Flamborough

3.0 Basis:

The basis for permitting this Amendment is as follows:

- The proposed amendment is consistent with the Provincial Policy Statement and conforms to the Growth Plan for the Greater Golden Horseshoe by encouraging a more diverse housing mix and providing efficient land use.
- The Amendment to remove the subject lands from the Area Specific Policy UF-2 of Volume 3 recognizes that there is no longer a need to include the lands within the Area Specific Policy as the requirements identified within the Policy UF-2 have been satisfied, and the lands should more appropriately be reviewed under the policies of the Neighbourhoods designation.
- The Amendment to permit the minimum density of 37 units per hectare

provides greater flexibility in residential density for lands to be developed with townhouses as permitted by Section 3.5.2 of the Urban Hamilton Official Plan. The lands are part of a residential subdivision and the Amendment will apply to a portion of the lands adjacent to the East-West Corridor (Waterdown By-Pass). The By-Pass in conjunction with adjacent natural heritage features (i.e. Significant Woodlands and Provincially Significant Wetlands) and floodplain limit the amount of developable land which reduces the density.

- The proposed location is suitable for medium density development because it is at the intersection of a major and minor arterial road and is compatible with planned development.

4.0 Actual Changes:

4.1 Text Changes:

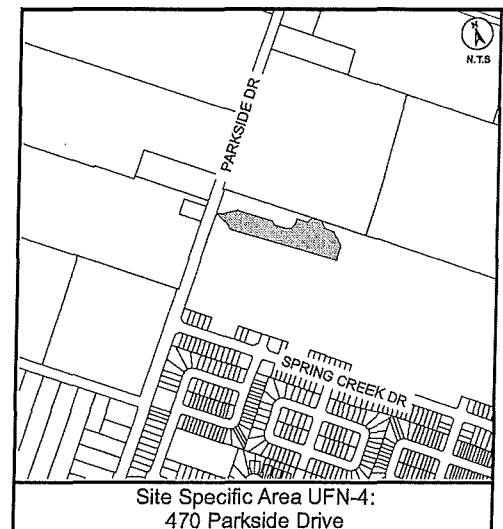
Volume 3 – Special Policy/Site Specific

4.1.1 Urban Hamilton Official Plan Volume 3, Chapter C, Flamborough Urban Site Specific Areas is amended by:

a) Adding a new Site Specific Area – UFN-4 to read as follows:

"UFN-4 Lands located at 470 Parkside Drive, Former Town of Flamborough

1.0 Notwithstanding Policy E.3.5.7, for medium density residential uses, the net residential density shall be between 37 units per hectare and 100 units per hectare.



4.2 Mapping Changes

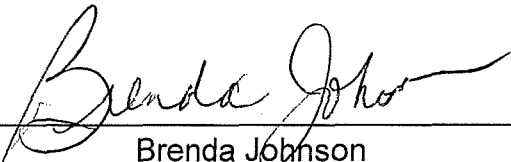
- 4.2.1 Volume 3: Map F-2 Area Specific Policies - to remove the Mattamy development lands from the Area Specific Policy Area shown on Appendix "A" attached.
- 4.2.2 Volume 3 – Map 2 Urban Site Specific Key Map is amended by identifying the properties located at 470 Parkside Drive, Waterdown (Flamborough) as "UFN-4", as shown on Appendix "B", attached.


5.0 Implementation:

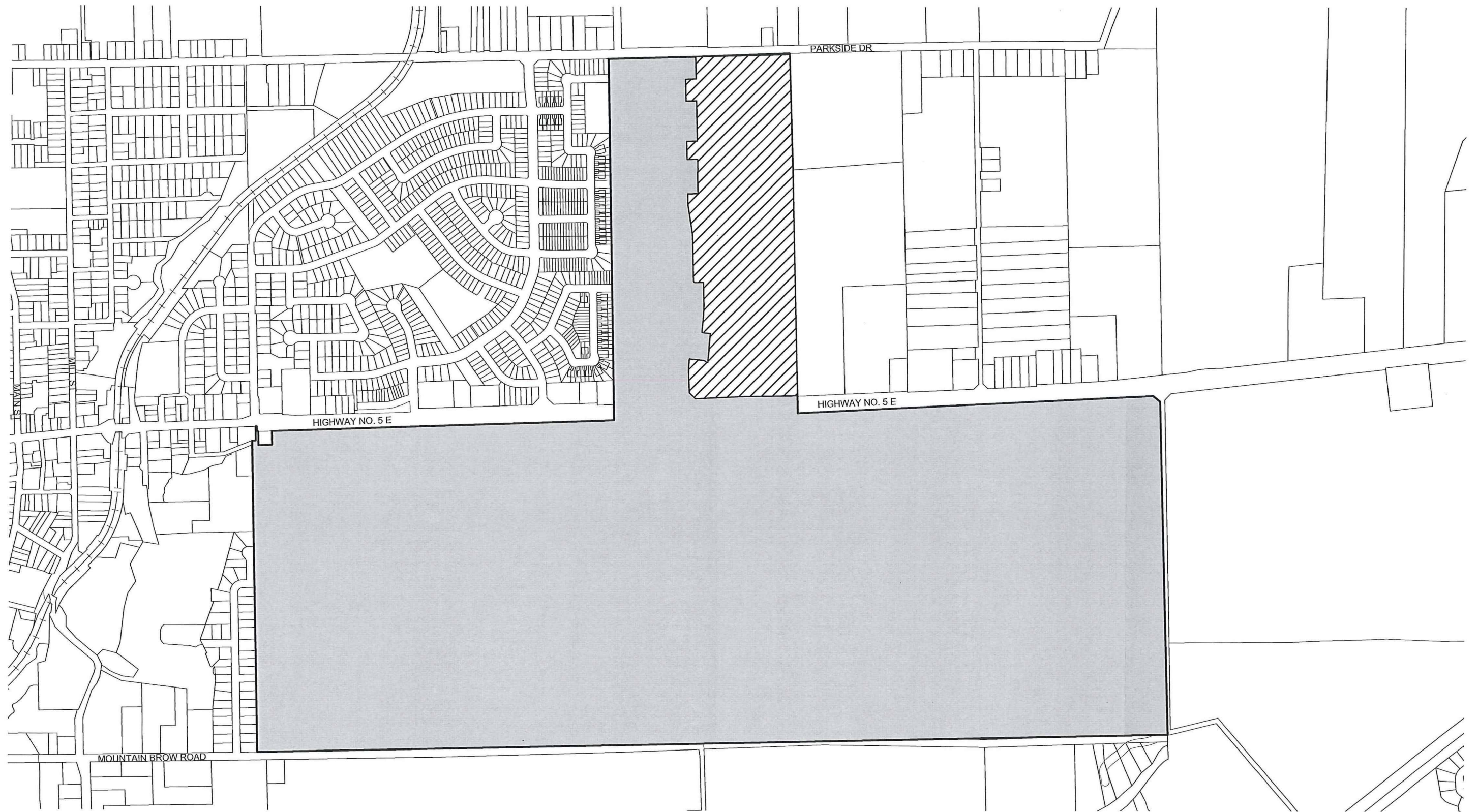
An implementing Zoning By-Law Amendment will give effect to the intended uses on the subject lands.

This is Schedule "1" to By-law No. 15-185 passed on the 14th day of August, 2015.

The City of Hamilton


Brenda Johnson
Acting Mayor


Rose Caterini
City Clerk



Legend

UF-2
 UFN-4

Council Adopted: July 9, 2009
 Ministerial Approval: March 16, 2011
 Effective Date: August 16, 2013

Urban Hamilton Official Plan
 Volume 3: Map F-2
 Area Specific Policies

Appendix A




Not To Scale

Date: Aug. 16, 2013



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Appendix B
Amendment 38
to the Urban Hamilton Official Plan

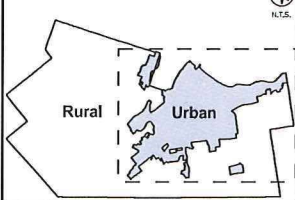
 Lands to be identified as Site Specific Area UFN-4
(470 Parkside Drive)

Date:
August 13, 2015

Revised By:
HT/VS

Reference File No.:
OPA-U-38(F)

Key Map



Note: For Rural Site Specific Areas, refer to Volume 3: Appendix A of the Rural Hamilton Official Plan.



APPEAL

The southern urban boundary that generally extends from Upper Centennial Parkway and Mud Street East in the east, following the hydro corridor and encompassing the Red Hill Business Park to Upper James Street remains under appeal – see illustration on Schedules E and E-1, Volume 1

Legend

- Site Specific Areas (SSA)
- U- Refers to Urban Site Specific Area #, Volume 3, Chapter B

Other Features

-  Rural Area
-  John C. Munro Hamilton International Airport
-  Niagara Escarpment
-  Urban Boundary
-  Municipal Boundary

Council Adoption: July 9, 2009
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Urban Hamilton Official Plan
Volume 3: Map 2
Urban Site Specific Key Map



Not To Scale



Hamilton

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