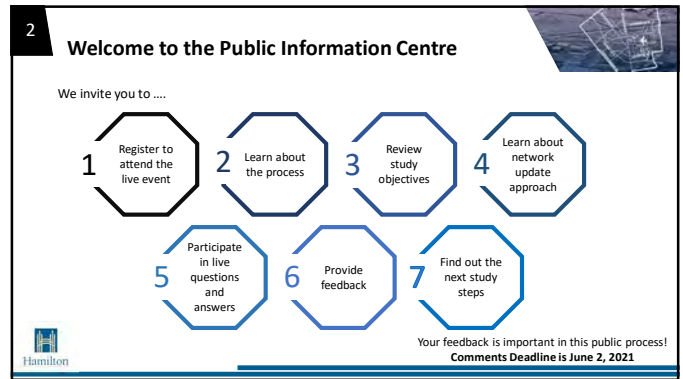
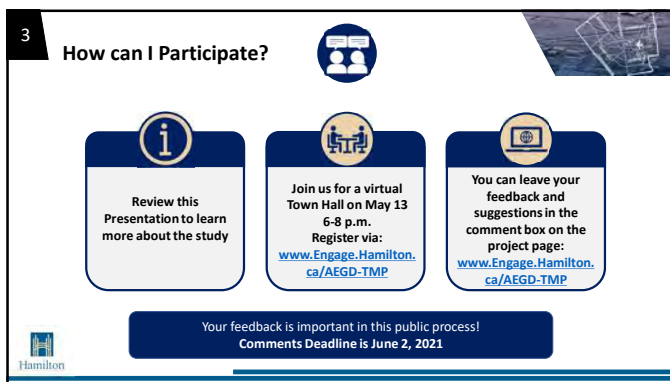




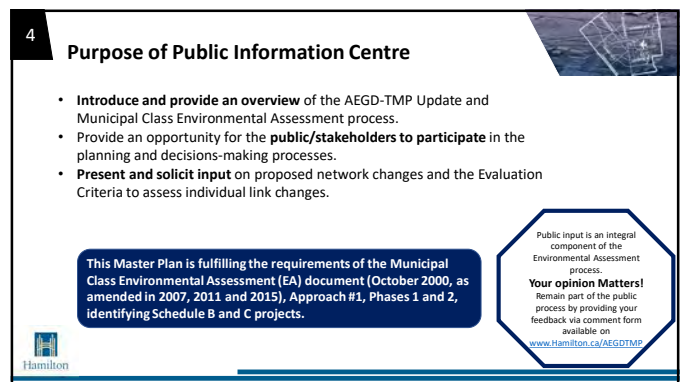
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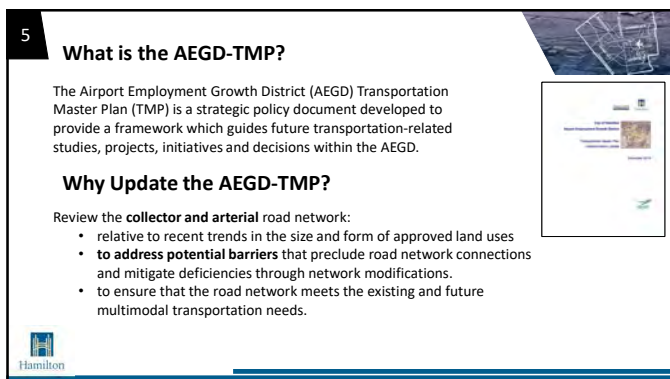
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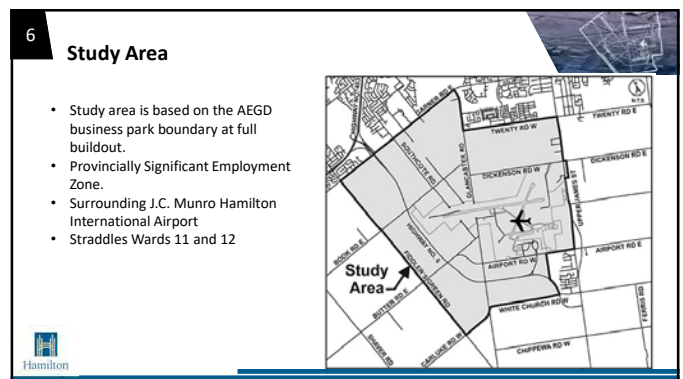
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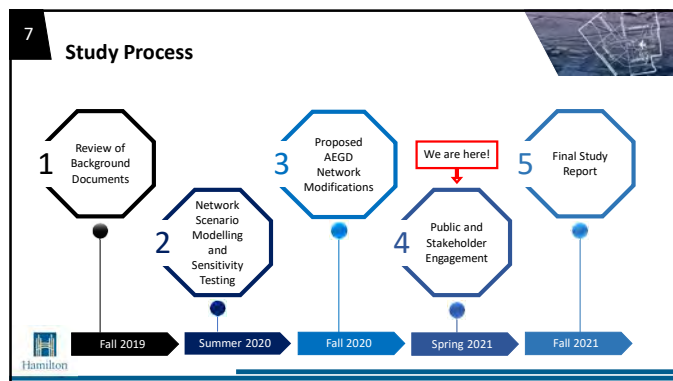
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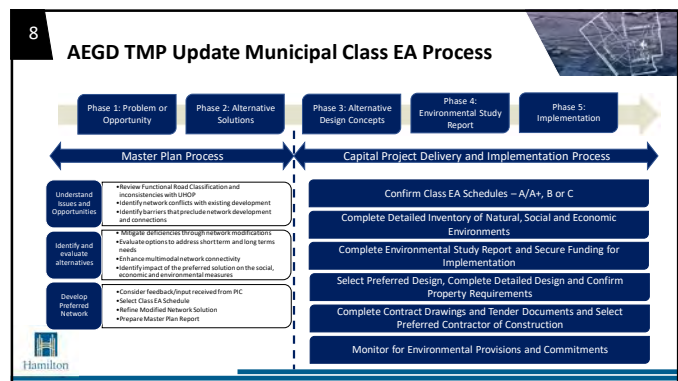
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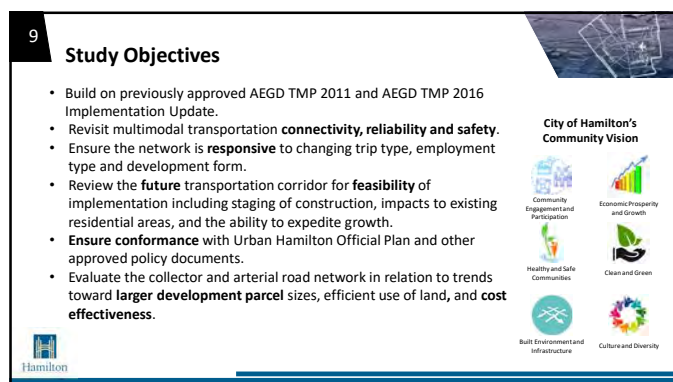
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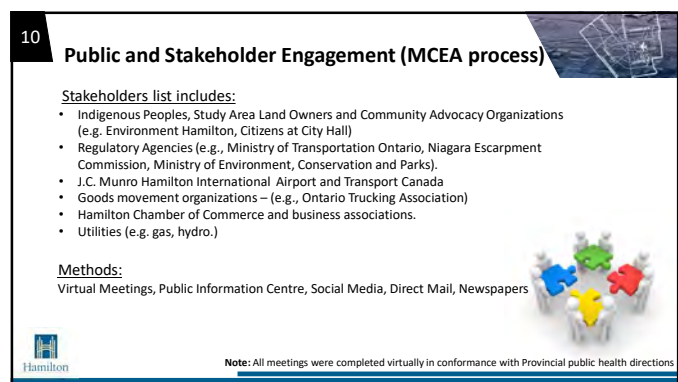
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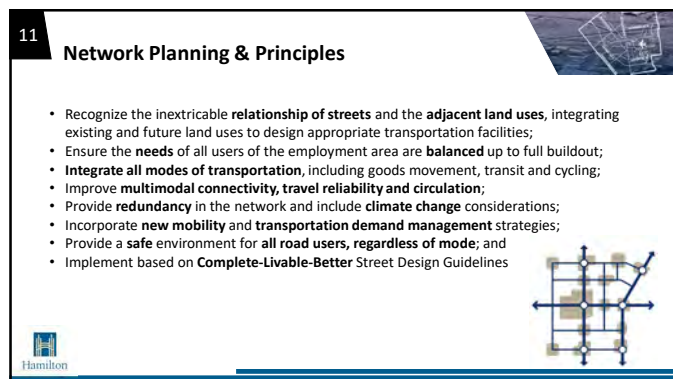
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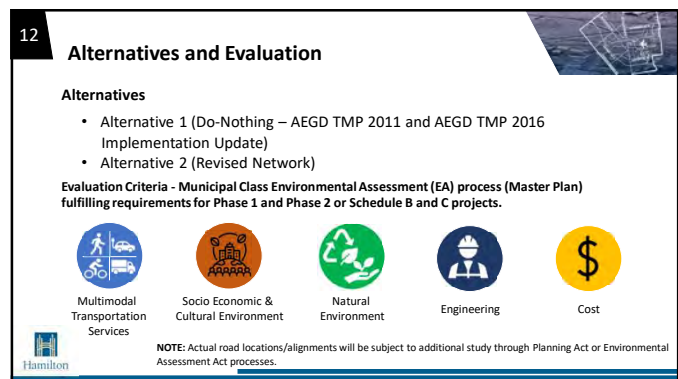
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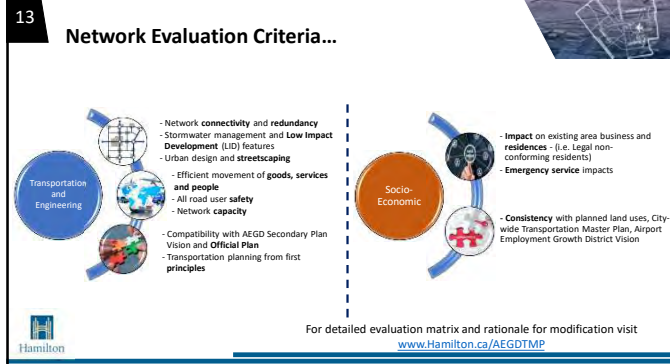
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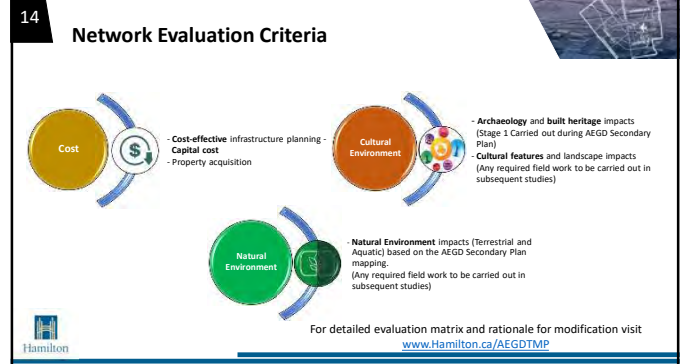
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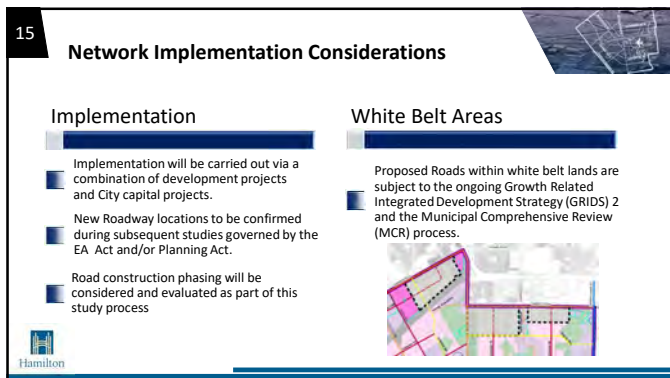
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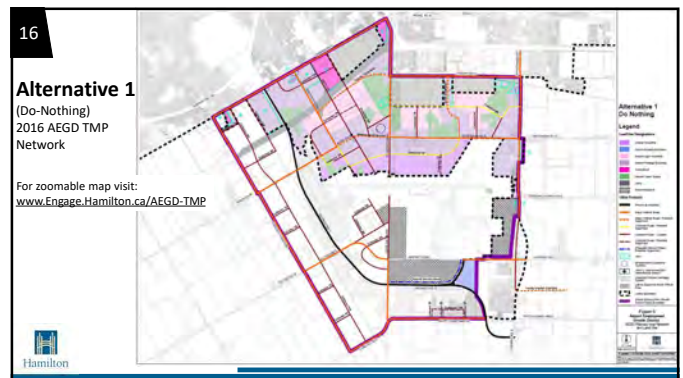
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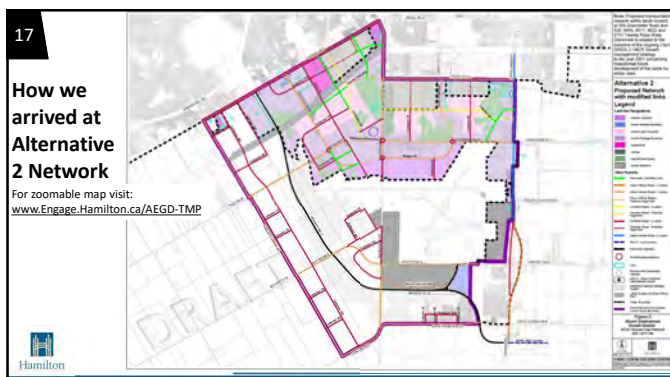
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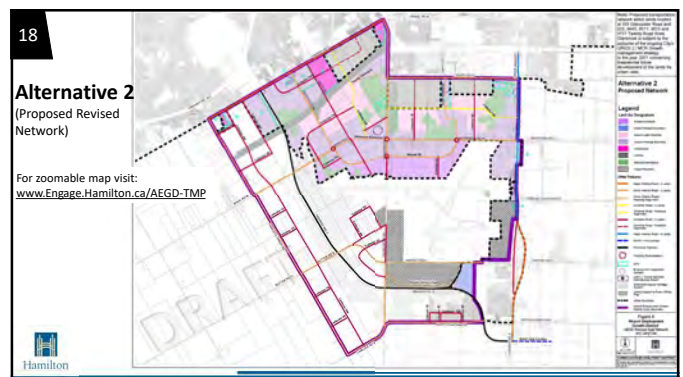
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19 Integrated Mobility Network Components

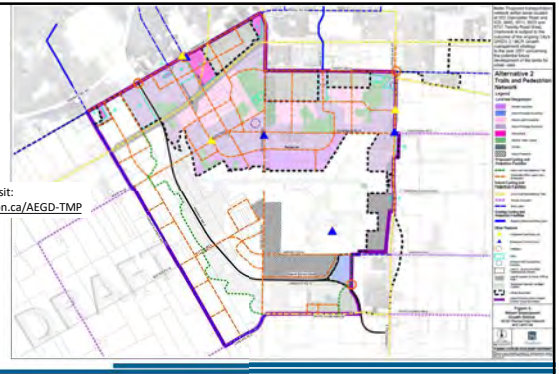
- Transit Service, Integrated Cycling and Trails Network,
- Municipal Servicing Strategy and Stormwater Conveyance, and
- Road Right of Way (ROW) Widths, Cross-sections and Road Typology (e.g. Main Streets, Transition Streets)
- All proposed facilities design details are subject to future EA studies/Planning Act Applications.



19

20
Integrated
Cycling and
Trails
Network

For zoomable map visit:
www.Engage.Hamilton.ca/AEGD-TMP



20

21 Transit Service

- **LONG TERM:** Recommend **increase in AEGD transit service** to support economic and employment growth, within the confines of applicable transit and taxation policies.
- **SHORT TERM:** The HSR **Ten Year Local Transit Strategy** includes an **increase in service frequency & area** for the existing Route 20 A Line Express and an **increase in service frequency** for the existing Route 44 Rymal.

Transportation Demand Management (TDM)

- Improve the **range and quality** of available travel choices to increase **travel reliability**.
- Provide a combination of **scheduled** and **on-demand** mobility choices.
- Influence AEGD employees behavior to use **infrastructure** in more **efficient ways** (e.g., carpooling, rideshare).
- Create a **Transportation Management Association** Specific for the AEGD



21

22 **Next Steps**



Your Input is Important!

The study team will finalize the network based on feedback from this PIC.



Project File Report
Prepare the DRAFT

study report and
present to Council
for approval



30 days Public Review

Project File Report
for public review

Comments
Deadline
June 3, 2021

We Want to Hear From You! Provide your feedback via comment form available on www.Hamilton.ca/AEGDTMP

22

23 **Have Something to Say?**

**Comments
Deadline
June 2, 2021**



Send your written
comments via mail to:
Margaret Fazio
71 Main Street West, 6th
Floor, Hamilton, ON.
L8R 4Y5



You can leave your feedback and suggestions in the comment box on the project page
www.Engage.Hamilton.ca/AEGD-TMP



**Contact the project
team via phone at:
(905) 546-2424**

Omar Shams	Margaret Fazio
Ext. 7474	Ext. 2218

Want to be on the mailing list to receive project updates?
Provide your mailing address to the project team via above means

23

24

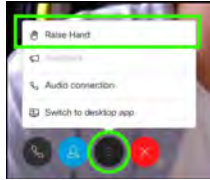
Questions and Open Discussion



24

How to Ask a Question

Internet browser: Click the button with 3 dots. Select 'Raise Hand' from the pop up.



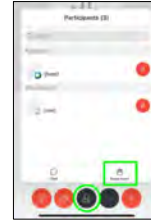
WebEx Application on computer: Click the participants button. At the bottom of the panel, click the hand icon.



25

How to Ask a Question

Tablet: Click the participants button. Select 'Raise Hand' from the pop up.



Smartphones: Click the participants button. Select 'Raise Hand' from the pop up.



26



City of Hamilton
City Hall, 71 Main Street West
Hamilton, Ontario
Canada L8P 4Y5
www.hamilton.ca

Growth Management Division, Planning and Economic Development Department

Physical Address: 71 Main Street West, 6th Floor

Phone: 905.546.2424 Ext. 2218 Fax: 905.540.5611

Email: iplanning@hamilton.ca

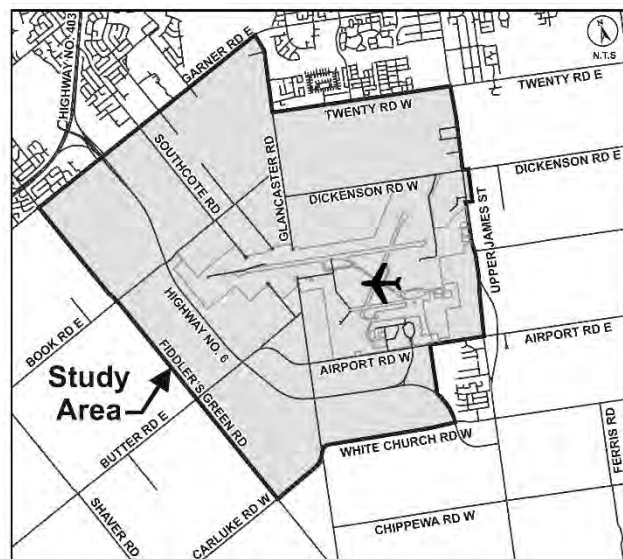
Hamilton Airport Employment Growth District Transportation Master Plan Update (AEGD TMP Update – Phase 1 & 2 Municipal Class Environmental Assessment Process) Notice of Update to Conceptual Cross-Section Design for Roadways

The City of Hamilton is undertaking a review and update of the 2011 AEGD TMP. Since the first Public Information Centre on May 13, 2021 for the AEGD TMP Update, staff developed refined conceptual cross-sections to address requirements of the AEGD Stormwater Master Plan / Eco-Industrial Design Guidelines and the recently approved Complete Livable Better Streets Design Guideline, etc. These refinements, driven by the need for roadside swales to convey stormwater and provide better opportunities for road user safety, have resulted in changes to the approved conceptual cross-sections and Right-of-Way widths within the study area.

Invitation to Review Conceptual Cross-Sections

Visit the project website to view the updated conceptual cross-sections drawings and provide comments by October 28, 2022. The project website is at www.hamilton.ca/AEGDTMP.

If you have any accessibility requirements in order to be able to review the revised cross-sections, have questions, comments or wish to be added to the project mailing list, please contact the staff below as soon as possible.



Margaret Fazio
Senior Project Manager, Infrastructure Planning
Growth Management
Planning and Economic Development Department
City of Hamilton
E-mail: iplanning@hamilton.ca
Tel: 905-546-2424 Ext. 2218

Omar Shams
Project Manager, Transportation Planning
Transportation Planning and Parking
Planning and Economic Development Department
City of Hamilton
E-mail: Transport@hamilton.ca
Tel: 905-546-2424 Ext. 7474

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BARRY GRAY THE HAMILTON SPECTATOR FILE PHOTO

Setting up a system with a private partner wasn't an option due to privacy concerns, said Paul Johnson, who leads Hamilton's pandemic response effort.

COVID-19 vaccine hotline will 'get much better,' city says

TEVIAH MORO
THE HAMILTON SPECTATOR

The city is urging Hamilton residents frustrated by its jammed COVID-19 vaccine hotline to be patient.

It also expects the hotline will soon be less busy as Ontario expands its vaccine rollout and online booking tool to anyone over 18 years old.

"So it's going to get much better over the next couple of weeks," Paul Johnson, who leads the city's pandemic response effort, told councillors Wednesday.

The city set up its hotline (905-974-9848, option 7) for people to book vaccination appointments at pop-up and specialty clinics, Johnson noted.

But the line has been overwhelmed with callers as more residents have become eligible.

That happened again this week after the city offered vaccines to anyone 18 and over in Hamilton's five "hot spot" areas, which are defined by the first three characters of their postal codes.

Two of those areas — L9C and L8W — were determined by the Ontario government and included in the online booking tool.

But the province hasn't yet uploaded three more areas added by the city — L8L, L8N and L9K — leaving those residents to arrange for appointments via the municipal hotline.

Johnson told councillors the city had "very little time" to set up its call centre. "Our system at the city is not designed

to take tens of thousands of calls all at the same time."

And amid the fast-evolving pandemic, there wasn't enough time to pivot to other technology, he said.

"I know that's not what people want to hear. I know it doesn't make us look like the system is working very well," Johnson said, noting more than 40 people are dedicated to the hotline.

Moreover, setting up a system with a private partner wasn't an option due to privacy concerns given the personal medical information callers must provide, he said.

By late May, when all Ontario adults become eligible for the province's online booking tool, the hotline "will have more than enough capacity" to handle calls for pop-up and specialty clinics, Johnson said.

Dr. Elizabeth Richardson, Hamilton's medical officer of health, said the city has asked the province more than once to add the city's additional hot spots to the online booking tool.

But provincial officials responded that adding hot spots from different municipalities would be a "challenge" and instead asked them to move ahead with local solutions.

These differ from region to region. Hamilton, for instance, has developed its own online vaccination booking tool.

Teviah Moro is a Hamilton-based reporter at The Spectator. Reach him via email: tmoro@thespec.com



Hamilton

LINC MAINTENANCE

EASTBOUND CLOSURE:
MAY 14 AT 1 A.M. TO MAY 17 AT 5 A.M.

WESTBOUND CLOSURE:
MAY 14 AT 10 A.M. TO MAY 17 AT 5 A.M.

- Spot resurfacing & asphalt repairs
- Bridge & signage repairs
- Pavement markings
- Ditching
- Catch basin cleaning

hamilton.ca/lincmaintenance

Nardini SPECIALTIES

EST. 1977

FROM MAY 6 - MAY 12, 2021
MONDAY – SATURDAY 8:00 AM – 5:00 PM

MEAT • DELI • CHEESE • IMPORTED SPECIALTY GROCER • KITCHENWARE • HOT TABLE

184 Hwy. #8 (Gateshead Plaza) Stoney Creek | 905-662-5758 | nardinispecialties.ca

FRESH BONE IN CHICKEN BREASTS 10LB LIMIT \$3.29 /LB	FRESH CENTRE CUT PORK LOIN CHOPS \$3.99 /LB	FRESH BEEF T-BONE STEAKS "AA/AAA" \$12.99 /LB	PIAVE MEZZANO CHEESE D.O.P \$3.49 /100G
LIONER SAUSAGE \$1.49 /100G	DELUXE MOZZARELLA CHEESE \$4.99 300G BALL	SMOKED SPECK ALTO ADIGE P.G.I. \$3.49 /100G	GRAN PASTICCERIA FINE CHOCOLATE BISCUITS 3 FOR \$9.99 100G
EGG LASAGNA SHEETS \$2.99 500G	SUPER POMODORO SAN MARZANO D.O.P. TOMATOES SAVE \$1.50 \$4.49 796ML	SWEET TARALLI SAVE 80¢ \$3.99 400G	PEAR NECTAR \$2.49 1LT

CONTACTLESS "CURBSIDE PICKUP" AVAILABLE - CALL THE STORE AT 905-662-5758 FOR DETAILS

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PLEASE CONSIDER ONLY 1 SHOPPER PER HOUSEHOLD

   **WE RESERVE THE RIGHT TO LIMIT QUANTITIES**

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- General Duty Vehicle \$85.00
- Transfer to Crematorium \$165.00
- Basic Cremation Casket \$170.00 (Eternité 101)
- Coroner's Fee \$75.00
- Cremation Fee \$621.50 (Evergreen Crematorium)
- Registration Fee \$12.00
- HST (on applicable items) \$208.65

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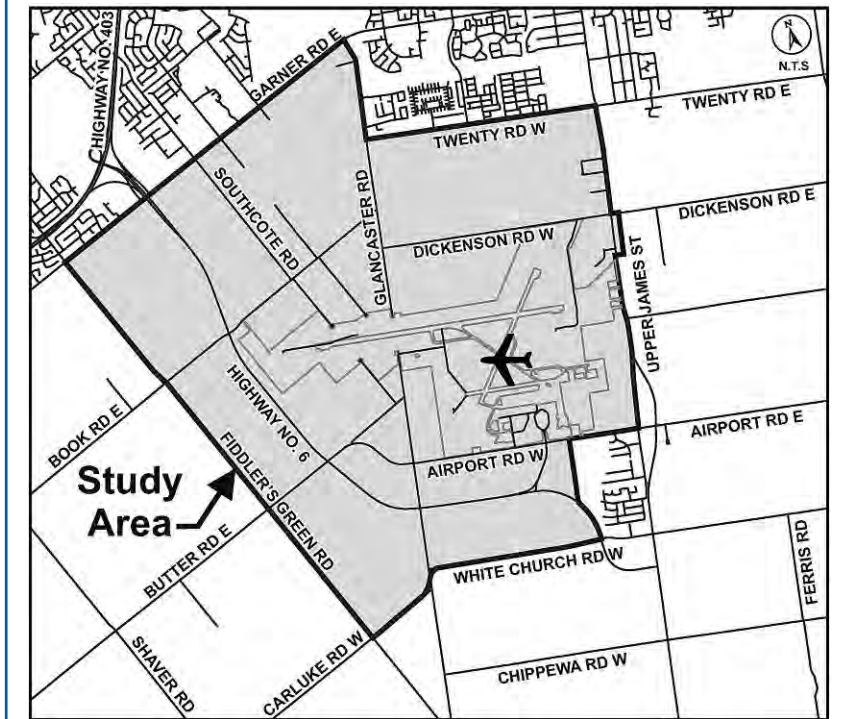
452 Hwy #8 Stoney Creek • www.canadiancremation.com

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Hamilton Airport Employment Growth District Transportation Master Plan Update (AEGD TMP Update) Notice of Commencement and Virtual Public Information Centre #1

The City of Hamilton is undertaking a review and update of the 2011 AEGD TMP. The AEGD TMP is a strategic policy document developed to provide a framework which guides future transportation-related studies, projects, and initiatives within AEGD.




This study will fulfill the requirements of the Municipal Class Environmental Assessment process (October 2000, as amended 2007, 2011 & 2015) Phases 1 and 2 for collector and arterial roads.

We encourage you to visit the project webpage at www.hamilton.ca/AEGDTMP to learn the latest information about the study.

Invitation to Public Information Centre #1


You are invited to attend a Public Information Centre #1 (PIC #1). This event will be held virtually to protect the health and safety of Hamilton residents and our staff. Individuals are invited to participate online or by phone.



AEGD TMP Update
Virtual Public Information Centre #1
Virtual meeting on **May 13, 2021**
from **6:00 p.m. to 8:00 p.m.**

The PIC will introduce you to the study, and offer an opportunity to comment on the study evaluation process and updated proposed collector and arterial road network.


How to Participate



Review PIC #1 Materials Anytime

Visit the project website to view the PIC #1 materials from May 6 to May 27.

The project website is www.hamilton.ca/AEGDTMP



Join the Virtual PIC #1 Meeting

There will be a live Public Information Centre event held on May 13, 2021 from 6:00 p.m. to 8:00 p.m. The Project Team will provide an overview presentation and will answer your questions.

Visit our website to view PIC #1 panels and to submit your questions in advance via e-mails below.

If you have any accessibility requirements in order to be able to review the PIC materials and comment on the AEGD TMP Update, please contact the staff below as soon as possible.

If you have any questions or comments about the study, or would like to be added to the project mailing please contact staff listed below.

Margaret Fazio Senior Project Manager, Infrastructure Planning City of Hamilton E-mail: iplanning@hamilton.ca Tel: 905-546-2424 Ext. 2218	Omar Shams Project Manager, Transportation Planning City of Hamilton E-mail: Transportation@hamilton.ca Tel: 905-546-2424 Ext. 7474
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This Notice was published in the Hamilton Spectator on: April 29, 2021 and May 6, 2021



Hamilton

23-year-old identified as victim in three-vehicle collision in Hagersville

TARA LINDEMANN
THE SACHEM

OPP have identified the motorcycle driver killed April 23 after a three-vehicle collision in Hagersville as 23-year-old Alexander Dalton, a member of Mississauga of the Credit First Nation.

On April 23, emergency services arrived at King Street West in Hagersville. OPP determined Dalton was travelling west on King Street West near Sarah Street when he was struck by a westbound 2001 blue Chevrolet Tahoe sport utility vehicle. Dalton was ejected and hit an eastbound pickup truck. Dalton, who was living in Hagersville, was pronounced dead at the scene.

The driver of the Tahoe left the scene and continued west on King Street West and then northbound onto Ojibway Road, where the vehicle was abandoned. Members of the OPP's Forensic Identifi-

cation Services unit will conduct an analysis of the vehicle, which had been confirmed stolen.

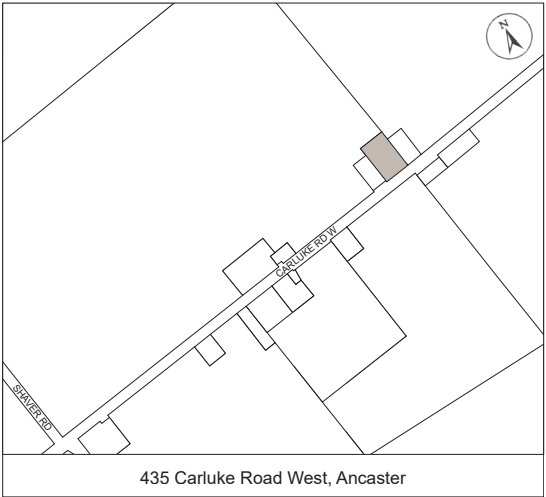
Members of the OPP Canine Unit, Emergency Response Team, a drone and the OPP helicopter attended and conducted a search of the area, but were unable to find the vehicle's driver.

King Street West was closed between Concession 13 Walpole and John Street for approximately six hours while emergency crews and investigators, including OPP Technical Collision investigators, were on scene.

OPP continue to investigate and are asking anyone who witnessed the collision, has video surveillance of the area, or has information to assist with the investigation to contact them at 1-888-310-1122. Should you wish to remain anonymous, you may call Crime Stoppers at 1-800-222-8477 (TIPS).

NOTICE OF PUBLIC MEETING OF THE PLANNING COMMITTEE

FOR A RURAL HAMILTON OFFICIAL PLAN AND A ZONING BY-LAW AMENDMENT
435 CARLUKE ROAD WEST, ANCASTER (WARD 12)
CITY INITIATED FILE. NO. CI-20-C



WHAT? The Planning Committee is holding a Public Meeting under the *Planning Act*, to consider a Rural Hamilton Official Plan Amendment and a Zoning By-law Amendment to Zoning By-law No. 05-200.

WHEN? Tuesday May 18, 2021 • 9:30 a.m.

WHERE? Due to the COVID-19 and the closure of City Hall all Virtual Meetings can be viewed at:

City's Website:
www.hamilton.ca/MeetingAgendas
City's YouTube Channel:
www.youtube.com/InsideCityofHamilton

WHY? Rural Hamilton Official Plan Amendment

The purpose and effect of the proposed Rural Hamilton Official Plan Amendment is to change the designation of the lands from Open Space to Agriculture to permit a residential use within the existing building.

Zoning By-law Amendment

The purpose and effect of the proposed Zoning By-law Amendment is to rezone the subject lands from the Open Space (P4) Zone to the Agriculture (A1, 743) Zone to permit residential uses within the existing building. Agricultural uses will also be permitted.

HOW? Accessing the Proposed Official Plan Amendment, Zoning By-law Amendment, Staff Report and Planning Committee Agenda

Copies of the Planning Committee agenda, the proposed Official Plan and Zoning By-law amendments, and information and material related to the amendments, will be available to the public in the staff report and may be obtained from the City's website at: www.hamilton.ca/MeetingAgendas or by contacting the City Clerks Office by email at clerk@hamilton.ca.

Public Input

Members of the public who would like to participate in a statutory public meeting are able to provide comments in writing via mail or email in advance of the public meeting. Comments can be submitted by emailing clerk@hamilton.ca or by mailing the Legislative Coordinator, Planning Committee, City of Hamilton, 71 Main Street West, 1st Floor, Hamilton, Ontario, L8P 4Y5. Comments must be received by noon Monday, May 17, 2021. Any written comments received after the deadline will be included on the Wednesday, May 26, 2021 Council agenda.

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West.

Pre-Recorded Submissions

Members of the public can participate in a statutory public meeting by submitting a pre-recorded video by noon Monday, May 17, 2021. The video must be no longer than 5 minutes in length and will be reviewed before the meeting to ensure it adheres to the City's procedures and protocols in presenting to Council. The video can be submitted by emailing clerk@hamilton.ca or dropping off a USB at the City Hall drop box located at the back of the 1st Floor of City Hall, 71 Main Street West, to the attention of the Legislative Coordinator, Planning Committee. Any videos that do not adhere to the City's procedures and protocols will not be presented at the meeting.

Oral Submissions During the Virtual Meeting

Members of the public are also able to provide oral comments, no longer than 5 minutes in length, regarding statutory public meeting items by participating through Webex via computer or phone. Participation in this format requires pre-registration in advance. Interested members of the public **must register** by noon Monday, May 17, 2021.

To register to participate by Webex either via computer or phone, members of the public must submit a Request to Speak form which can be found at www.hamilton.ca/RequestToSpeak.

Upon registering for a meeting, members of the public will be emailed a link for the Webex meeting. The link must not be shared with others as it is unique to the registrant. All members of the public who register to participate by Webex will be contacted by City Staff to confirm details of the registration prior to the meeting and provide an overview of the public participation process.

If you need clarification or have any questions on how to participate in a statutory public meeting, please email clerk@hamilton.ca or by phone at 905-546-2424 extension 4605.

To Request a Notice of Decision

If you wish to be notified of the decision of the City of Hamilton on the proposed Official Plan Amendment and Zoning By-law Amendment, you must make a written request to the Legislative Coordinator.

Legislative Coordinator, Planning Committee
City of Hamilton, 71 Main Street West, 1st Floor,
Hamilton, Ontario, L8P 4Y5
or by email clerk@hamilton.ca

Appeals

In accordance with the provisions of the *Planning Act*,

Rural Hamilton Official Plan Amendment

- If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of Hamilton before the proposed Official Plan amendment is adopted, the person or public body is not entitled to appeal the decision of Council, City of Hamilton to the Local Planning Appeal Tribunal (LPAT).
- If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of Hamilton before the proposed Official Plan amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal (LPAT) unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

Zoning By-Law Amendment

- If a person or public body would otherwise have an ability to appeal the decision of Council of the City of Hamilton to the Local Planning Appeal Tribunal (LPAT) but the person or public body does not make oral submissions at a public meeting or make written submissions to the City of Hamilton before the by-law is passed, the person or public body is not entitled to appeal the decision.
- If a person or public body does not make oral submissions at a public meeting or make written submissions to the City of Hamilton before the proposed by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal (LPAT) unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Collection of Information

Information respecting this application is being collected under the authority of the *Planning Act*, R.S.O. 1990, c.P.13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address and contact information of persons submitting comments and / or opinions, will become part of the public record and will be made available to the general public and **will appear on the City's website unless you expressly request within your communication the City remove your personal information.**

CONTACT:

For further information, please contact:

Elyse Meneray, Planner II
Planning & Economic Development Department
City of Hamilton
71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5
Phone: 905-546-2424 Ext. 6360
E-Mail: Elyse.Meneray@hamilton.ca

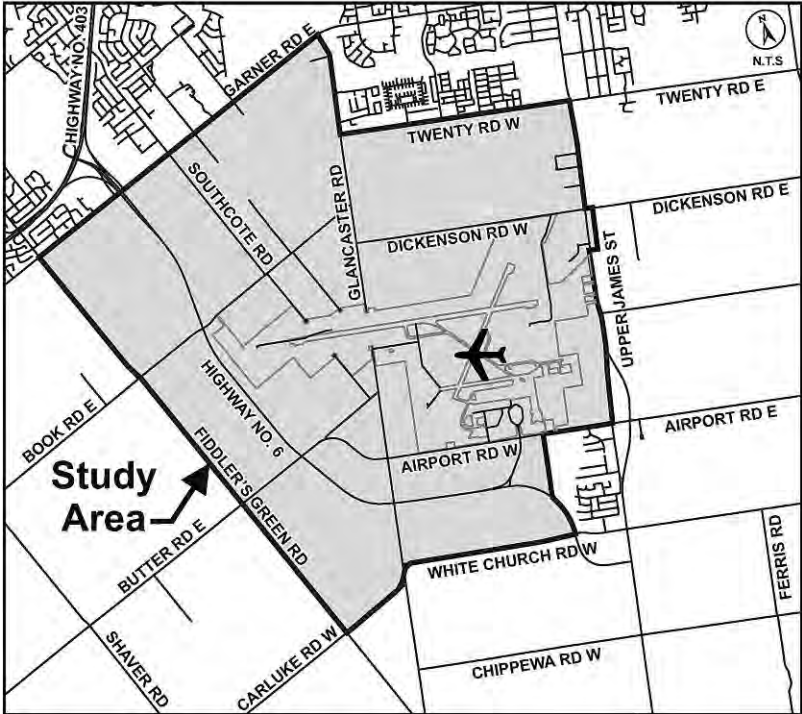


Hamilton

This Notice is issued April 29, 2021.

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Margaret Fazio
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E-mail: iplanning@hamilton.ca
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Omar Shams
Project Manager,
Transportation Planning
City of Hamilton
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Tel: 905-546-2424 Ext. 7474

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This Notice was published in the Hamilton Spectator on: April 29, 2021 and May 6, 2021



Hamilton

From: [Fazio, Margaret](#)
To: [Paul Brown](#)
Cc: [Shams, Omar](#); [Molloy, Steve](#); [Norman, Gavin](#); [Hollingworth, Brian](#)
Subject: RE: AEGD TMP Update - List of scope increase issues and next steps
Date: Friday, January 27, 2023 4:57:00 PM

Hi Paul,

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(She/her)

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Growth Management, Planning and Economic Development Department
City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

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Hamilton

Mark Crockford, P.Eng.

CGH Transportation Inc.

P: 905-251-4070

E: Mark.Crockford@CGHTransportation.com

December 14, 2021

Robin Marinac, EIT.

CGH Transportation Inc.

P: 437-242-5183

E: Robin.Marinac@CGHTransportation.com

Dear Mark and Robin,

Subject:

**Airport Employment Growth District (AEGD)
Transportation Master Plan (TMP) Update – Proposed Road Cross-Sections**

Thank you for the attached letter in response to the Proposed AEGD TMP Update Cross-Sections.

Please find our answers following your re-iterated questions below:

- Q1. We have reviewed the proposed cross-sections for inclusion in the AEGD and confirmed that all widths fall within industry standards (TAC) but are relatively narrow. Based on the industrial nature of the area, will consideration be given to larger design vehicles (i.e. WB-20) to confirm there's sufficient space and turning radii at intersections to accommodate these larger vehicles?
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<https://www.hamilton.ca/sites/default/files/2022-10/complete-streets-design-guidelines-june16-2022.pdf>. Turning radii for design vehicles will be confirmed as part of Phases three and four of the EA process and as part of site - specific development application detailed design. The City's Comprehensive Development Engineering Design Guidelines (https://www.hamilton.ca/sites/default/files/2022-11/pedpolicies-developmentguidelines-financialpolices-manual_1.pdf) also establish the basic principles for the road's geometric design that addresses the minimum curb radii.
- Q2. The prescribed width for the swale/ditch is consistent throughout each cross-section. That said, how can this be definitive when individual roadway profiles haven't been developed? Will varying widths of roadways effect side slopes and the width of these swales/ditches? Further, how will the side-slopes and space allocated affect the placement of street lighting in these areas, as also shown on the cross-sections?
- A2. The cross-sections are conceptual only and give indication of the required elements within the road allowance. It is possible that in some locations the ditches may be wider than what's shown and may require wider right-of-way(s).

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Your comments submitted to date on AEGD TMP Update will be entered into the public engagement record of the Project File Report. Further engagement on your applications will take place outside of the AEGD TMP Update study, as part of the planning process.

If you have further questions regarding the AEGD TMP Update please do not hesitate to contact the undersigned at omar.shams@hamilton.ca or margaret.fazio@hamilton.ca or at the below phone numbers.

Thank you for your interest in this study.

Sincerely,

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December 14, 2021

Robin Marinac, EIT.

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October 28, 2022

City of Hamilton
71 Main Street West
Hamilton, ON
L8P 4Y5

Attention: Margaret Fazio & Omar Shams

Re: Airport Employment Growth District Secondary Plan
Transportation Master Plan (TMP) Update – Proposed Road Cross-Sections

Dear Margaret & Omar,

We are writing to you as the owner of lands located at 844 Glancaster Road, located within the City of Hamilton's Airport Employment Growth District (AEGD) Secondary Plan.

Thank you for circulating the City's proposed Industrial Road Cross-Sections and for providing us the opportunity to review and provide comments.

We have completed our review and offer the following comments and questions for your consideration:

- The proposed cross section lane widths fall within industry standards (TAC) but are relatively narrow. As the AEGD lands are industrial lands, will the city provide consideration to larger design vehicles to confirm that there is sufficient space and turning radii at proposed intersections and roundabouts to accommodate larger vehicles?
- We previously attended a pre-consultation meeting with City Staff earlier this year wherein after consultation with City staff, a 33m wide right-of-way for Arterial 1N was agreed to through our plan of subdivision. The TMP Update and proposed cross section now depicts a 45m wide right-of-way (ROW); an increase in width of 12m which in our opinion, is excessive. We understand the increase in width is to accommodate stormwater drainage which we comment on further below.
- The proposed cross section provides a centre landscaped median. What is the purpose of this median? Would the City consider providing a two-lane arterial road with centre turning lanes as an alternative cross section?
- At our pre-consultation meeting, City Staff advised a multi-use trail shall be provided on one side of the roadway along Arterial 1N. Why is the City now proposing trails on both sides of road?
- The proposed ROW through our lands is depicted as a potential alignment. Through our undertaking of planning and transportation work for our lands, we have been coordinating and collaborating with our neighbours to ensure that our plans and transportation networks are aligned. The intersection of the proposed Arterial 1N with Glancaster Road and our neighbours (Broccolini) is aligned closer to the Airport Lands. We request this alignment be depicted in the TMP update
- Further to our comment above regarding excessive width to accommodate storm water drainage, we note the prescribed width of the swale/ditch is consistent through-out the sections provided. We question how can this be definitive when individual road profiles have not been developed?

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- We understand the City will not be including a minor system for storm water drainage within the ROW's. Without a minor storm system, the size of the contributing drainage area directed to the proposed swale/ditch will be limited.
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- With Transit users, we assume a platform will be required at bus-stops and culverts will be required at the interface of these platforms & swale/ditches. A detail should be provided to understand accessibility, safety and what infrastructure will be required.

Based on our comments and questions provided above, we respectfully request additional review and discussion before we can endorse the City's proposed cross sections.

Thank you again for the opportunity to submit our comments for your consideration.

Yours truly,

A handwritten signature in black ink, appearing to be "AK" followed by a horizontal line.

Andres Kivi
Project Manager, RFA Developments



City of Hamilton
City Hall, 71 Main Street West
Hamilton, Ontario
Canada L8P 4Y5
www.hamilton.ca

Growth Management Division, Planning and Economic Development Department
Physical Address: 71 Main Street West, 6th Floor
Phone: 905.546.2424 Fax: 905.540.5611
Email: iplanning@hamilton.ca

Hamilton

Andres Kivi.

Project Manager – RFA Developments.

(p) 416.362.9997 ext. 228

(e) akivi@rfadevelopments.com

January 20, 2023

Dear Andres,

**Subject: Airport Employment Growth District Secondary Plan
Transportation Master Plan (TMP) Update – Proposed Road Cross-Sections**

Thank you for the attached letter in response to the Proposed AEGD TMP Update Cross-Sections.

Please find our answers following your questions below:

Q1. The proposed cross section lane widths fall within industry standards (TAC) but are relatively narrow. As the AEGD lands are industrial lands, will the city provide consideration to larger design vehicles to confirm that there is sufficient space and turning radii at proposed intersections and roundabouts to accommodate larger vehicles?

A1. The standard lane widths are consistent with City's approved Complete Street Design Guidelines, which accounts for heavy truck movements in industrial cross – sections:
<https://www.hamilton.ca/sites/default/files/2022-10/complete-streets-design-guidelines-june16-2022.pdf>. Turning radii for design vehicles will be confirmed as part of Phases three and four of the EA process and as part of site - specific development application detailed design. The City's Comprehensive Development Engineering Design Guidelines (https://www.hamilton.ca/sites/default/files/2022-11/pedpolicies-developmentguidelines-financialpolicies-manual_1.pdf) also establish the basic principles for the road's geometric design that addresses the minimum curb radii.

Q2. We previously attended a pre-consultation meeting with City Staff earlier this year wherein after consultation with City staff, a 33m wide right-of-way for Arterial 1N was agreed to through our plan of subdivision. The TMP Update and proposed cross section now depicts a 45m wide right-of-way (ROW); an increase in width of 12m which in our opinion, is excessive. We understand the increase in width is to accommodate stormwater drainage which we comment on further below.

A2. The increase in width of swale/ditches to accommodate stormwater storage and conveyance is the primary driver of increase in ROW width. In addition, the functional classification of four lane Collector 1N was upgraded to a four-lane minor arterial. This decision was taken to provide a continuous turn lane along the corridor to minimize turning conflicts and optimize corridor multimodal level of safety and service.

Q3. The proposed cross section provides a centre landscaped median. What is the purpose of this median? Would the City consider providing a two-lane arterial road with centre turning lanes as an alternative cross section?

- A3. The proposed cross-section identifies a centre landscaped median and/or a continuous center turning lane. The decision whether to construct a landscaped median or a continuous turning lane will be determined at phased three and four of the EA process and will be informed by the adjacent development type and corridor access management plan.
- Q4. At our pre-consultation meeting, City Staff advised a multi-use trail shall be provided on one side of the roadway along Arterial 1N. Why is the City now proposing trails on both sides of road?
- A4. As per the Complete Street Design Guideline, industrial arterials are recommended to have separate facilities for all road users to provide optimal level of safety, service and comfort. Given the cross-section designs are conceptual only, some refinements can be made at the detailed design level based on local and corridor connectivity context.
- Q5. The proposed ROW through our lands is depicted as a potential alignment. Through our undertaking of planning and transportation work for our lands, we have been coordinating and collaborating with our neighbours to ensure that our plans and transportation networks are aligned. The intersection of the proposed Arterial 1N with Glancaster Road and our neighbours (Broccolini) is aligned closer to the Airport Lands. We request this alignment be depicted in the TMP update.
- A5. The Transportation Master Plan identifies the strategic roadway alignment and intersection locations. The plan also protects for network integrity, connectivity and capacity needs for multimodal future demand. Should an individual or group of land owners choose to realign a road, without impacting the network integrity and capacity, they can do so by providing justification for such a change and ensure that they fulfill zoning and other regulatory requirements.
- Q6. Further to our comment above regarding excessive width to accommodate storm water drainage, we note the prescribed width of the swale/ditch is consistent through-out the sections provided. We question how can this be definitive when individual road profiles have not been developed?
- A6. The cross-sections are conceptual only and give indication of the required elements within the road allowance. The prescribed ditch widths are minimum required and determined based on the maximum allowable degree of side slopes, minimum vertical clearance, minimum driveway embankment/cover depth, rounding and setback from the back of curb. The ditches/swales' main function will be to convey road ROW drainage, and not provide any external drainage flow capacity from abutting lands. It is also possible that in some locations the ditches may be wider than what's shown and may require wider right-of-way(s).
- Q7. We understand the City will not be including a minor system for storm water drainage within the ROW's. Without a minor storm system, the size of the contributing drainage area directed to the proposed swale/ditch will be limited.
- A7. The conveyance portion of the ROW will include LID features such as grass swale or bio-swale. In addition, there may be consideration for subsurface exfiltration pipes or other hybrid systems. As part of Phases three and four of the EA process the infrastructure type will be determined with the aim of increasing stormwater storage, infiltration and flow. These details are outlined in the SWMP and will be confirmed at corridor specific phases three and four of the EA process within each corridor.
- Q8. The cross sections indicate curbs between the travelled portion of the roadway and the swale/ditch. Is it the intent for the swale/ditch to also capture runoff from the roadway? How will runoff be conveyed to the swale/ditch with curbs present?

A8. Curb - cuts in the roadways will facilitate drainage from the pavement to the ditch and intermittent ditch inlets will be incorporated to convey flows in excess of what the ditches are designed to accommodate.

Q9. With Transit users, we assume a platform will be required at bus-stops and culverts will be required at the interface of these platforms & swale/ditches. A detail should be provided to understand accessibility, safety and what infrastructure will be required.

A9. Transit stops and details such as handrails/guardrails and pad/shelter are outside of the scope of this Master Plan and the need for their installation will be determined as part of the Phases three and four of the EA process for individual roadways, and subsequent detailed design process. At this point we can confirm that culverts will be installed at the interface of the bus-stop and the ditches to facilitate transit user accessibility.

Your comments submitted to date on AEGD TMP Update will be entered into the public engagement record of the Project File Report. Further engagement on your applications will take place outside of the AEGD TMP Update study, as part of the planning process.

If you have further questions regarding the AEGD TMP Update please do not hesitate to contact the undersigned at omar.shams@hamilton.ca or margaret.fazio@hamilton.ca or at the below phone numbers.

Thank you for your interest in this study.

Sincerely,



Margaret Fazio. B.Sc., E.P., RPP, MCIP
Senior Project Manager, Infrastructure Planning,
Planning and Development Department, City of Hamilton, Tel: 905-546-2424 Ext.2218

Omar Shams
Project Manager, Transportation Planning
Planning and Development Department, City of Hamilton, Tel: 905-546-2424 Ext.7474

cc. Steve Molloy, Manager Transportation Planning
Gavin Norman, Manager Infrastructure Planning
Brian Hollingworth, Director Transportation Planning
Ashraf Hanna, Director Growth Management
Steve Robichaud, Director Planning



October 28, 2022

City of Hamilton
71 Main Street West
Hamilton, ON
L8P 4Y5

Attention: Margaret Fazio & Omar Shams

Re: Airport Employment Growth District Secondary Plan
Transportation Master Plan (TMP) Update – Proposed Road Cross-Sections

Dear Margaret & Omar,

We are writing to you as the owner of lands located at 844 Glancaster Road, located within the City of Hamilton's Airport Employment Growth District (AEGD) Secondary Plan.

Thank you for circulating the City's proposed Industrial Road Cross-Sections and for providing us the opportunity to review and provide comments.

We have completed our review and offer the following comments and questions for your consideration:

- The proposed cross section lane widths fall within industry standards (TAC) but are relatively narrow. As the AEGD lands are industrial lands, will the city provide consideration to larger design vehicles to confirm that there is sufficient space and turning radii at proposed intersections and roundabouts to accommodate larger vehicles?
- We previously attended a pre-consultation meeting with City Staff earlier this year wherein after consultation with City staff, a 33m wide right-of-way for Arterial 1N was agreed to through our plan of subdivision. The TMP Update and proposed cross section now depicts a 45m wide right-of-way (ROW); an increase in width of 12m which in our opinion, is excessive. We understand the increase in width is to accommodate stormwater drainage which we comment on further below.
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Thank you again for the opportunity to submit our comments for your consideration.

Yours truly,

A handwritten signature in black ink, appearing to be 'AK' followed by a horizontal line.

Andres Kivi
Project Manager, RFA Developments



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City Hall, 71 Main Street West
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Hamilton

Andres Kivi.

Project Manager – RFA Developments.

(p) 416.362.9997 ext. 228

(e) akivi@rfadevelopments.com

January 20, 2023

Dear Andres,

**Subject: Airport Employment Growth District Secondary Plan
Transportation Master Plan (TMP) Update – Proposed Road Cross-Sections**

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If you have further questions regarding the AEGD TMP Update please do not hesitate to contact the undersigned at omar.shams@hamilton.ca or margaret.fazio@hamilton.ca or at the below phone numbers.

Thank you for your interest in this study.

Sincerely,



Margaret Fazio. B.Sc., E.P., RPP, MCIP
Senior Project Manager, Infrastructure Planning,
Planning and Development Department, City of Hamilton, Tel: 905-546-2424 Ext.2218

Omar Shams
Project Manager, Transportation Planning
Planning and Development Department, City of Hamilton, Tel: 905-546-2424 Ext.7474

cc. Steve Molloy, Manager Transportation Planning
Gavin Norman, Manager Infrastructure Planning
Brian Hollingworth, Director Transportation Planning
Ashraf Hanna, Director Growth Management
Steve Robichaud, Director Planning

Lopez, Kathia

From: [REDACTED]
Sent: Thursday, July 22, 2021 4:36 PM
To: [REDACTED]
Cc: Fazio, Margaret; Shams, Omar; Anderton, Melanie
Subject: RE: Re[2]: [REDACTED]
Attachments: Interactive Mapping.pdf

Hello [REDACTED]

Under the current designation and zoning (as outlined in more detail in my last email), the lands are not presently serviceable / developable lots.

Please see attached map highlighting the properties with Twenty Road and Dickenson Road shown. Custom printable maps can be created using our interactive mapping at <https://map.hamilton.ca/> (Zoning map recommended).

Take care,

E. Tim Vrooman BES RPP MCIP

Senior Planner
Planning and Economic Development
Planning, City of Hamilton
(905) 546-2424 Ext.5277



***NOTE:** As of March 18, 2020, all City of Hamilton offices and facilities have been closed to the public with exception of the First Floor, City Hall to help prevent the possible spread of the COVID-19 virus. Planning staff will continue to serve the community over the phone and by email. However, staff are working from home as a precautionary measure to protect both the public and staff and staff will endeavour to reply to your email as soon as possible. Digital submissions and resubmissions are preferred. Alternatively, you may make your submission by courier, mail or drop off at First Floor City Hall. Please be aware that information on the City's response to COVID-19 and the City of Hamilton's Official Plan, Zoning Bylaws and submission requirements can be found on the City's website at www.hamilton.ca. Thank you for your cooperation.*

From: [REDACTED]
Sent: July 22, 2021 10:30 AM
To: Vrooman, Tim [REDACTED]
Cc: Fazio, Margaret [REDACTED]; Shams, Omar [REDACTED]; Anderton, Melanie [REDACTED]
Subject: Re[2]: [REDACTED]

Hello Tim,

Thank you for your reply. I am, however, still not quite clear if my two lots are actually serviceable lots and allowed to be built upon? I've been paying taxes on this land for some 30+ years....

Also, would you kindly send a map in a printable format (PDF?) which shows Twenty Road and Dickenson Road so that I may better visualize the location of my property.

Kind regards,

email: [REDACTED]

----- Original Message -----

From: "Vrooman, Tim" [REDACTED] >

To: [REDACTED] >

Cc: "Fazio, Margaret" [REDACTED]

"Shams, Omar" [REDACTED] >;

"Anderton, Melanie" [REDACTED] >

Sent: 2021-07-21 4:48:05 PM

Subject: RE: [REDACTED]

Hello [REDACTED]

Below is a map of the two parcels in question:



These two parcels, along with the surrounding un-serviced lots of record in the vicinity, are designated Open Space on Schedule E-1 of the Urban Hamilton Official Plan and further designated Natural Open Space on Map B.8-1 – Land Use Plan of the Airport Employment Growth District (AEGD) Secondary Plan. They are designated Core Areas on Map B.8-2 – Natural Heritage System of the AEGD Secondary Plan. In this case, these Core Areas contain a Significant Woodland and a watercourse regulated by the Niagara Peninsula Conservation Authority. Based on policies within the UHOP, Core Areas are to be preserved and enhanced and any development or site alteration within or adjacent to Core Areas shall not negatively impact their natural features or their ecological functions. The lands are zoned [Conservation/Hazard Land \(P5\) Zone](#), which permits conservation of the lands. Official Plan and Zoning By-law Amendment applications, accompanied by an Environmental Impact Statement and other supporting studies, would be required prior to consideration of any development of these lands.

If you have any further questions, please do not hesitate to contact me.

Take care,

E. Tim Vrooman BES RPP MCIP

Senior Planner
Planning and Economic Development
Planning, City of Hamilton
(905) 546-2424 Ext.5277



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From: [REDACTED]
Sent: July 13, 2021 7:12 PM
To: [iplanning](#) [REDACTED]
Subject: [REDACTED]
Importance: High

Hello,

I am the owner of the above noted properties

I am inquiring about the status of the Hamilton Airport Employment Growth District assessment as it may pertain to my property.

There are existing dwellings on Glancaster Road between Twenty Rd and Dickenson Rd so I'm not sure what may/may not be possible in terms of development/building a new home for personal use.

Also, is it possible to get a map indicating the exact location of these properties?

Kind regards,

Holden, Gina

From: Travis, Heather
Sent: April 30, 2021 4:21 PM
To: [REDACTED]
Cc: Fazio, Margaret; Shams, Omar; Vrooman, Tim
Subject: RE: AEGD TMP Update - Request for information on development behind 501 Glancaster Rd. - connecting to right staff

Hello [REDACTED],

I understand you are seeking information on the Official Plan Amendment applications applicable to the lands to the rear of 501 Glancaster Rd which are currently being reviewed by the City.

Three applications have been submitted to the City (file #s UHOPA-20-018 / RHOPA-20-022, UHOPA-20-019/ RHOPA-20-023 and UHOPA-20-020 / RHOPA-20-024) and are applicable to the lands located at 9285, 9445, 9511, 9625 and 9751 Twenty Road West and 555 Glancaster Road.

The applications are proposing to add the lands to the City's urban boundary which will allow for the future development of the lands for residential uses. The applications are proposing the future development of a mix of residential dwelling types (single detached, townhouses and apartments) for a total of approximately 2,400 proposed units.

If these applications are approved, there would be additional planning studies and requirements which would need to be considered and approved prior to any development occurring on the lands. This would include the completion of a secondary plan or concept plan which would identify how the area would develop in terms of a road network and detailed land uses including parks and community facilities etc. Block servicing strategies would also be required which would identify how the lands would be serviced and the timing of that servicing. Finally, individual plans of subdivision would be required to create individual lots and local roads. Through those future studies and applications, consideration of surrounding land uses would be taken into account.

The three applications continue to be reviewed by the City at this time, and no public meeting date has been set for the consideration of these applications by the Planning Committee. As a surrounding property owner, you will receive notice of the date of the Planning Committee meeting in the mail. If you are interested, you can also receive a copy of the staff report when it is available, with all comments included. Please let me know and I will add your name to the list for report circulation.

Thank you, and please let me know if you require further information,

Heather Travis, MCIP, RPP

Senior Project Manager, Growth Management Strategy
Planning Division
Planning and Economic Development
City of Hamilton, 71 Main St W, 4th floor, L8P 4Y5
(905) 546-2424 Ext.4168



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Planning staff will continue to serve the community over the phone or by email. However, staff are working from home as a precautionary measure to protect both the public and staff and staff will endeavour to reply to your email as soon as possible.

Digital submissions and resubmissions are preferred. Alternatively you may make your submission by courier, mail or by drop off at the First Floor, City Hall.

Please be aware that information on the City's response to Covid-19 and the City of Hamilton Official Plan, Zoning By-laws and submission requirements can be found on the City's website at www.hamilton.ca.

Thank you for your anticipated cooperation.

From: Fazio, Margaret <Margaret.Fazio@hamilton.ca>

Sent: April 28, 2021 2:31 PM

To: [REDACTED]

Cc: Vrooman, Tim <Tim.Vrooman@hamilton.ca>; Shams, Omar <Omar.Shams@hamilton.ca>; Travis, Heather <Heather.Travis@hamilton.ca>

Subject: AEGD TMP Update - Request for information on development behind 501 Glancaster Rd. - connecting to right staff

Hello [REDACTED]

As requested, we have found two staff (Heather Travis and Tim Vrooman) who would be able to provide you with an update on the development applications in the area behind your property &/ just east of 501 Glancaster Road.

I have included an aerial photo, below, to show the property in question and the road east of it, as discussed.

I understand that Heather would be the person to discuss the status of urban boundary application/zoning application, and Tim would be able to tell you about the status of the reminder of issues etc.



Trusting that this is helpful.
Please let us know if you have any further questions.

Thank you,

Margaret Fazio, B.Sc., EP, MCIP, RPP

Senior Project Manager, Infrastructure Planning

Growth Management, Planning and Economic Development Department

City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca

DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.



Lopez, Kathia

From: iplanning
Sent: May 10, 2021 8:33 AM
To: Fazio, Margaret
Subject: FW: Airport Employment Growth Master Plan

-----Original Message-----

From: Johnson, Brenda <Brenda.Johnson@hamilton.ca>
Sent: Sunday, May 9, 2021 11:05 AM
To: [REDACTED] Ward 11 <ward11@hamilton.ca>
Cc: iplanning <iplanning@hamilton.ca>; Transportation <transportation@hamilton.ca>
Subject: Re: Airport Employment Growth Master Plan

Good morning
Thank you for your comments
We will be sure to include in the staff report

Many thanks

Take care and stay safe
Brenda

Sent from my iPhone
Councillor Brenda Johnson
City of Hamilton
Ward 11

> On May 9, 2021, at 10:14 AM, [REDACTED] wrote:

>

>

> Hello,

>

> I am concerned about the proposed development of residential in the area bounded by Glancaster, Twenty Road, Upper James and Dickenson currently going through a Class EA. This is not what was originally proposed in the AEGMP. It seems incorrect to further develop residential closer to the airport which will likely cause future complaints and interruption to development of the airport area. It seems to me that long range planning is desirable in lieu of the insertion of opportunistic short term change.

>

> I believe this area was slated for prestige light industrial which is an appropriate designation to transition between residential and industrial development.

>

> More intensification in the already serviced areas of the city such as more and higher apartment or condominium units should be developed first.

>

> [REDACTED]

Lopez, Kathia

From: Fazio, Margaret
Sent: May 13, 2021 2:41 PM
To: [REDACTED]
Cc: Shams, Omar
Subject: RE: Airport planning

Hello [REDACTED]

Thank you for your comments below. It is our understanding that the Ministry of Transportation Ontario intends to remedy this situation at Butter road in their next Highway 6 study.

Thank you,
Margaret

Margaret Fazio, B.Sc., EP, MCIP, RPP
Senior Project Manager, Infrastructure Planning Growth Management, Planning and Economic Development
Department City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5
Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.

-----Original Message-----

From: iplanning <iplanning@hamilton.ca>
Sent: May 13, 2021 10:09 AM
To: Fazio, Margaret <Margaret.Fazio@hamilton.ca>
Subject: FW: Airport planning

-----Original Message-----

From: [REDACTED]
Sent: Thursday, May 13, 2021 7:53 AM
To: iplanning <iplanning@hamilton.ca>
Subject: Airport planning

Good morning

I'm unable to participate on the online meeting but have accessed some of the information regarding Airport Growth. As a 42 year resident of the area living on Glancaster Road west of the airport I've seen many changes, including the severance of Glancaster Road in the 80s to accommodate the extended east west runway.

If there was one very integral infrastructure that should have been done when the #6 south bypass was built is to provide and off and on ramp at Butter Road from the bypass. This would allow easier access to what will be the economic growth district, provide easier access to those requiring access to the tower, and allow residents easier access to the city.

Sincerely
[REDACTED]

Holden, Gina

From: Fazio, Margaret
Sent: May 31, 2021 2:27 PM
To: [REDACTED]
Cc: Shams, Omar
Subject: FW: Request for help with AEGD TMP - [REDACTED] - Response RE ZONING

Hello [REDACTED]

Please see our responses below your questions/comments:
We trust that these answers are helpful.

Thank you,
Omar and Margaret

Margaret Fazio, B.Sc., EP, MCIP, RPP

Senior Project Manager, Infrastructure Planning

Growth Management, Planning and Economic Development Department

City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca

DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.



From: iplanning <iplanning@hamilton.ca>
Sent: May 4, 2021 1:50 PM
To: Fazio, Margaret <Margaret.Fazio@hamilton.ca>
Subject: FW: AEGD TMP

From: [REDACTED]
[REDACTED] May 4, 2021 6:22 AM
To: iplanning <iplanning@hamilton.ca>
Subject: AEGD TMP

Good morning Ms Fazio,

I hope this finds you and your loved ones well. I noticed that you are the senior project manager for the Airport Employment Growth District Transportation Master Plan Update which is currently available on the Engage Hamilton website [HERE](#) and I hoped you could answer three questions please.

The introduction on the page states:

The AEGD TMP is a strategic policy document developed to provide a framework which guides future transportation-related studies, projects, initiatives and decisions within AEGD. This study is following the Municipal Class EA (October 2000, as amended 2007, 2011 & 2015), which will complete Phases 1 for new Roadways and 2 for previously approved Roadways.

1) I noticed that two areas of land, one bordered by Dickenson, Glancaster, Upper James and Twenty Rd west, the other parcel across from Redeemer college roughly bordered by Garner, Springbrook and the Christian Highschool are part of the AEGD study. I was just playing around with the zoning map and it looks like these areas all all zoned either A2, P8 and P4 and not within the AEGD or the residential areas.

Are these two areas going to be rezoned?

The “white belt” areas are currently outside of the urban boundary but potentially developable, if certain criteria for urban boundary expansion, rezoning, etc are met. We wanted to be prepared in the event that those developments would take place and require a robust road network in the future.

City staff are reviewing the applications to expand the urban boundary to include these areas as part of the Municipal Comprehensive Review process.

The Zoning reflects the current **rural** zoning of the lands. The current Rural and Urban Official Plans applications are to incorporate these lands into the urban boundary for residential uses. If/when those are approved, through subsequent Official Plan and Zoning By-law Amendment applications the Secondary Plan and zoning would be amended to facilitate urban development (employment lands, residential, open spaces, natural heritage lands, etc.). The current AEGD Secondary Plan doesn't prescribe what these particular areas of land will be zoned as such.

2) I noticed from the Upper West Side Community project's website [HERE](#) that they are well into the planning stages:

The Upper West Side Community will be located between Twenty Road West, Dickenson Road, Upper James Street and Glancaster Road.

The community will offer Hamilton an innovative, and more importantly, affordable residential and housing community. The proposed development will provide enough homes for 5,750 new residents in Hamilton.

Is the Upper West Side community project the reason why the Dickenson, Glancaster, Upper James and Twenty Rd W. parcel is included in your AEGD TMP?

Please see our answer to question no. 1.

Are cycling/pedestrian and trails networks being planned as part of this TMP for this community?

Yes, cycling, pedestrian and trails networks are being planned for this community, as per the PIC panel – map.

You can find it here:


1. Zoomable PDF:

<https://www.hamilton.ca/sites/default/files/media/browser/2021-05-06/aegd-tmp-pic1-presentation-panels-alternative2-cycling-trails.pdf>

2. Discussion near the end of the presentation at <https://engage.hamilton.ca/aegd-tmp>

Additionally, if you wish to track development applications in the future this is a link that can provide that information:

<https://spatialolutions.maps.arcgis.com/apps/webappviewer/index.html?id=488bae061738484f8c34371a5c188386>

Thank you for your time,
Kindly,

Ancaster

Lopez, Kathia

From: [REDACTED]
Sent: June 1, 2021 7:58 AM
To: Fazio, Margaret
Subject: AEGD TMP Update Comments
Attachments: Scan_20210601.pdf

Please find attached my comment letter regarding the AEGD TMP Update.

Thank you.

[REDACTED]

Gamer Road East

Rymal Road

East

Twenty Road West

Dickenson Road West



Lopez, Kathia

From: Fazio, Margaret
Sent: Tuesday, June 22, 2021 10:07 AM
To: [REDACTED]
Cc: [REDACTED]
Subject: RE: AEGD TMP Update - concern about trucks using Book Road Comment

Hello [REDACTED]

Please consider this a confirmation of receipt of your comments.

Thank you.

Margaret Fazio, B.Sc., EP, MCIP, RPP

Senior Project Manager, Infrastructure Planning

Growth Management, Planning and Economic Development Department

City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca

DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.



From: [REDACTED]
Sent: June 22, 2021 9:05 AM
To: [REDACTED]
Cc: Fazio, Margaret <Margaret.Fazio@hamilton.ca>; Vrooman, Tim <Tim.Vrooman@hamilton.ca>
Subject: RE: AEGD

Good morning [REDACTED]

Thank-you for your email and comments. We understand that you are concerned about truck traffic along Book Road. As Book Road is outside the study area of the Upper West Side Integrated Environmental Assessment, I am passing your comments onto Ms. Margaret Fazio who is leading the City of Hamilton Airport Employment Growth District Transportation Master Plan Update for a response.

Best regards,
Jennifer

From: [REDACTED]
Sent: May 29, 2021 10:21 AM
To: [REDACTED]
Subject: AEGD

To whom this may concern,

Hello, my name is [REDACTED] am emailing you to add a comment to your study regarding the City of Hamilton Airport Employment Growth District Transportation Master Plan. I have never done this before so I will just start, there has been more and more big freight trucks, dump trucks & delivery trucks driving

along Book Road creating a lot of noise and smells. I am concerned this will be more & more of an issue when this project finally finishes.

Thank you for your time,



Lopez, Kathia

From: [REDACTED]
Sent: September 15, 2021 11:43 AM
To: [REDACTED]
[REDACTED]

FYI – This is what was sent to [REDACTED] Thanks again for your help with this. Big team effort for this one! 😊

Moving forward, should I receive further correspondence from Danusia, I think it would be best that a meeting be coordinated to discuss her concerns. I have also recommended that reach out to the Project Lead directly or be involved in the discussion.

Hope this helps! Cheers, [REDACTED]

[REDACTED]
[REDACTED]
Senior Project Manager, Community Engagement
City Manager's Office
Government and Community Relations, City of Hamilton
(905) 546-2424 Ext.4992



The City of Hamilton encourages physical distancing and increased handwashing. Learn more about the City's response to COVID-19 www.hamilton.ca/coronavirus

From: [REDACTED]
[REDACTED] 2021 11:39 AM
[REDACTED]
[REDACTED]
[REDACTED]

Hi [REDACTED]

Always happy to answer your questions. Moving forward, I think it would be best if we coordinated a meeting to discuss all of your questions in further detail. If you would like share some dates and times of when you are available, I would be happy to coordinate a telephone meeting or virtual meeting. Please let me know if you have a preference (telephone or virtual). If you could kindly provide a few weeks notice, that would be most helpful as I would also like to invite a staff member that specializes in legislative engagement to participate in the discussion. I would also recommend including the project lead of the Master Plan you are referring to. They would be in the best position to answer your questions.

In the meanwhile, please find additional responses to your questions below (BLUE):

|
Hello [REDACTED]

Thank you for your response. I emphasize however, that my questions have not been addressed.

Without actual public input, there is no public engagement period. This charter has been in effect since early 2015. I see plenty of policy language but no specific processes that must be followed, measured, and

accounted for. It appears Master Plan teams/staff are left to manage public engagement completely on their own. I've participated in a number of initiatives including Master Plans for over 12 years so I'm speaking from plenty of experience and points of reference.

Any of the City's Master Plans (i.e., Hamilton's Transportation Master Plan) have been and continue to be authorized by Council, and due to the types of projects that they include, they trigger the need for public engagement which is legally required to be conducted as a Municipal Class Environmental Assessment (EA) process under the provincial Environmental Assessment Act. When the projects are approved by Council, it is with the understanding that this is the precise process that will be followed for public engagement. The EA process outlines the minimum requirements of public engagement which is often surpassed by staff in the City of Hamilton. This is why the EA process was mentioned in our previous answers.

However, due to the COVID-19 pandemic, all in-person public engagement was suspended in March 2020 in alignment with public health measures. All in-person City-led public engagement continues to remain on hold. City staff adapted to these challenges by using virtual meeting platforms and new digital engagement tools like the City's Engage Hamilton site along with traditional engagement methods.

In consultation with planning staff, they have noted that during any City Wide Master Plan process it has never previously been the practice to directly mail/notify all land owners/residents. However, during the pandemic this practice was used in some cases.

As a resident, I'm engaged in Master Plans currently taking place and with one, I don't like what I see at all. When I came across the Public Engagement Charter, I immediately looked for specific, measured means by which the public is entitled to provide input and more importantly, measured and accounted for policies and procedures by which staff must abide. I saw none, just pledges and policy. After all the work that was put into this charter, I don't see any specifics that ultimately make public engagement in the City of Hamilton specific, measured, and accountable. By this time, I expect to see real, concrete steps, plans of action that are mandated and ratified.

I am a big fan of the City's Public Engagement Charter and, as noted in earlier responses, we are currently in the process of developing a city-wide Public Engagement Policy and related Administrative framework. However, as mentioned below, the Engagement Charter or a Public Engagement Policy cannot supersede any legislated public engagement process.

Are there specific mandates, standards, protocols, timeframes that Master Plan teams must follow as a result of the Public Engagement Charter and outcomes you noted?

Please see all the above. The Public Engagement Charter provides guiding principles for City-led public engagement; however, these guidelines cannot supersede any legal requirements for public engagement. For example, this includes provincially legislated and municipal consultation requirements under a legislative authority such as the Environmental Assessment Act and Ontario Planning Act.

A current situation clearly illustrates that is not the case.

Regarding this particular Master Plan, I am extremely concerned. Below are a few of but a long list of issues:

-Only one PIC (post-recommendation) was held. Four and at least two pop-ups were promised.

-Letters/notices of this PIC were mailed 10 days before the virtual PIC date. People received them just days before, the day before, days after, or not at all.

-The PIC was held the last week in June, just after the province opened up and summer was in full swing.

-The queue process (questions/comments) was not known and controlled by an unknown individual.

-A major change is being proposed that will affect every part of the city. Information pertaining to that change was not clearly demonstrated in presentation materials.

There are many more observations and criticisms.

Have you reached out to project lead regarding your concerns? This would be very helpful information to share. They would be in the best position to answer your questions. Having consulted with staff that lead the City's Master Plans and legislated engagement processes, here are some responses:

- Publication of Notices in the newspaper(s) are required to be 2 and 1 week prior to the event, as per EA process document. This is to ensure if someone missed it 2 weeks prior, they can still catch it one week prior to the meeting. Direct mail out of newspaper notices was a way to enhance the public engagement process in some Master Plans.
- Timing of PICs is permitted by Council to be outside of the months of July and August, and the December Holiday Season (even during the pandemic).
- Each virtually held PIC has a limited timeframe, just like in-person PICs. Regardless of the time allowed, there is always a means of engagement with staff/Project teams, even for in-person meetings. Many PIC attendees follow up their attendance with additional or initial questions via email, phone and the same has been true during the pandemic. Interesting to note, attendance at virtual PICs has been greater than when in-person PICs were held. Virtual PICs presentations/sessions are recorded for public to review at their convenience. This is a benefit that did not exist for in-person PICs and provides an additional accessibility benefit.
- The purpose of a PIC is to solicit feedback from public and other stakeholders on draft materials. If you have additional comments or questions or are unclear about the presented content the Project Manager/Team are the most knowledgeable people to contact. If you are not receiving answers to your satisfaction from that Team (questions and comments, and satisfaction with the final product), you have the following choices:
 1. Contact your Ward Councillor
 2. Delegate at Committees of Council
 3. Contact the Ministry of Environment, Conservation and Parks (MECP)

Please note that the MECP is the body that can answer questions regarding minimum legislative requirements for public engagement for Master Plans carried out under the auspices of the EA Act.

This entire public engagement issue needs to be simplified and stripped down to the basics.

Question: What are we supposed to do when there is no formal, measured, accountable process in place? Contacting the team lead at the right hand side of the page is not the answer. They're the ones not adhering to and violating process. We are beyond that and intervention at another level is required. Where do we go from here?

Please see the answers above re MCEA process; formal, measured and accountable.
Please see the above answer about options for reaching out to others.

Question: The Master Plan process to which I referred did not afford residents with sufficient opportunities to engage. What do we do now?

A member of the public is able to engage with the Project Team at any time of the project. The timelines/deadlines required for comments are imposed by the project schedule, which is dictated by Council - (budget considerations include timing impacts on other projects, on the recommendation impacts and staff/resource including time). Given this, staff are often subject to very tight timelines for their projects.

Staff usually utilize a variety of methods to engage with the public, including direct mail for PIC notifications, direct mail of materials for those without internet access or those with additional accessibility needs, newspaper notifications, phone calls, social media posts (Twitter, Instagram and LinkedIn – all of the City’s social media accounts), City’s Hamilton.ca website and EngageHamilton.ca website. Stakeholders would also be notified through Community Associations, Agencies, and Ward Constituency Offices.

Question: *When the public is not provided with opportunities to understand the Master Plan before them and appropriate number of meetings/forums are not afforded, what do we do?*

If an additional one-on-one meeting is required, the Project Team may be able to meet with you remotely or via phone any time during the pandemic. Outside of the current pandemic, we also add in-person “kitchen-table” meetings as an option, if required.

Thanks for reaching out Danusia. I hope you will consider reaching out to the Project Lead to discuss your concerns. I am happy to coordinate a meeting with planning staff to help better explain the process. Please advise on your availability and communication preferences.

Best wishes, Cindy

Thank You,

From: [REDACTED]
Sent: Wednesday, August 25, 2021 10:05 AM
To: Danusia
Subject: RE: MCEA Process / Public Engagement

Good Day [REDACTED]

Thank you for your continued interest and support with City-led public engagement as it relates to the Municipal Class Environmental process. I shared your questions with the leads of the City’s Environmental Assessment Working Group and have included their responses below. I apologize for the length of this email but wanted to ensure that you received a comprehensive response to your detailed questions.

Overview of MCEA Process

The Municipal Class Environmental Process falls under the Environmental Assessment Act <https://www.ontario.ca/laws/statute/90e18> and is therefore a legislatively prescribed public engagement/decision making process. The Municipal Engineers Association’s writes the Municipal Class Environmental Assessment (EA) guiding document in consultation with both the governing Ministry of Environment, Conservation and Parks (MECP), and member municipalities including the

City of Hamilton which follow it. It can be found here: <https://municipalclassea.ca/> (bottom right corner of the front page).

There are a possible 4 types of approaches to a master planning process, as applicable to each project, available resources, and timing. Some EA projects (within or outside the Master Plans) are considered “pre-approved” under this document and some as “triggering an EA process”, which means they require a PIC with a certain amount of content to be evaluated and presented to the public.

The manual allows some flexibility allowing staff to follow our own By-laws, which are sometimes more stringent and sometimes different from the MCEA document and adapted as required. Public engagement requirements under the EA process are useful as a template in public engagement practices as a whole, but staff consider the legal requirements as a minimum and often augment them in their studies.

There are variations with each project and even Master Plan’s with respect to scope, public engagement strategies, study area considerations, and anything that falls within the definition of “environment” under the EA Act depending on the stakeholders.

Staff Outreach Opportunity

Each Class EA and Master Plan which is carried out under the MCEA process is a project and therefore by definition a unique endeavour. While it is possible to answer some general rules/legislated requirements, if you have questions for a specific Project or Master Plan in mind, I would be happy to connect with you with a member of the EA Working Group who can discuss further via phone/video chat.

RESPONSES TO QUESTIONS

What minimum number of PICs must be held as part of any Master Plan process?

Please see the reference above. This depends on the project/Master Plan’s scope, geography, schedule and budget. Each project’s/Master Plan’s PIC panels should provide where the study is in that process and how many more points of contact are expected prior to completion, as well as next steps.

How far in advance of PICs must staff mail notices to residents?

There is no prescribed strict timeline. However, staff strive to mail out notices for Schedule B and C EA projects before the first publication date in newspapers as best practice. This is ideally around 1-2 weeks before each PIC. Please note that typically for City-wide master plans, the City does not mail out notices to all households and businesses. Instead, the Notice of Study Commencement and PICs are published in the newspaper, and engagement events are promoted through social media and other communication channels.

How far in advance of PICs must residents receive the notice?

Please see above.

Where must notices of PICs appear and what is the advance timeframe, publishing deadline?

The requirement to the public with respect to publishing in a particular newspaper is now up to each municipality’s discretion, especially during COVID. The City’s best practice is 2 AND 1 week before the PIC (as in previously approved EA document version). Staff may choose to publish in one or more than one publication, depending on the project scope and geographical location, etc. Online

placement of information and use of social media for making materials available online are also optional.

Note: During COVID-19, internal prep time before each publication has doubled from 3 – 6 weeks for the online publication of materials and 3 weeks for newspapers. Direct mail outs have also become more difficult due to limited or no access to the office and mail room due to COVID restrictions and re-deployment of staff/related staff resource shortages.

If a specific number of PICs are listed as planned during a stakeholder presentation/meeting and only one is held, has a violation occurred?

This may depend on the reason for cancellation – we may require more context to understand the precise situation. In general, if one PIC is a repeat of information of another PIC and the materials are available via hard copy or online, the answer would be No.

If so, what recourse do residents have?

An EA cannot be completed without “a” PIC at key times of the project. For Master Plans, however, if a PIC is held with the same content in multiple locations and one is cancelled then no legal violation is committed. An EA or EA based Master Plan can also offer other forms of engagement if desired (e.g. One-on-one meetings, emails, phone calls, instead of multiple PICs). Multiple PICs, however are preferred, if project scope, geography, budget and schedule allow it. Contacting the Project Manager would be the best recourse.

Note: During COVID-19, PICs are held virtually and are typically recorded, based on public health measures and the City’s Emergency Centre Operation’s directions. Recordings of the PICs are posted on the project page for public review with an extended feedback deadline (two-to-three weeks after PIC).

Must they (staff & consultants) follow through and hold those remaining PICs?

NO. Multiple meetings presenting the same information are considered a good practice and preferred customer service but are not a strict legal requirement for the process to move forward.

Is there a certain time of year when PICs should or must be held? Are there recommended months, times of year to conduct them?

There is no legal requirement regarding when PICs should or must be held. As a best practice, PICs may be held outside of summer months (July and August) and close to holidays in December. Again, this is not a legal requirement.

Are times of year that are not best suited for PICs? If so, are staff Master Plan Teams given months, times of year from which to steer away?

There are multiple corporate precedents where some projects have held public meetings during summer months due to the project’s urgency, significance, scope, funding requirements/budget, resource limitations, and schedule (e.g., LRT). Some projects have even been held during snow storms as a result of sudden weather changes after the publication of notices and mail outs have gone out.

Are there specific mandates, standards, protocols, timeframes that Master Plan teams must follow as a result of the Public Engagement Charter and outcomes you noted?

Please see all the above. The Public Engagement Charter provides guiding principles for City-led public engagement; however, these guidelines cannot supersede any legal requirements for public engagement. For example, this includes provincially legislated and municipal consultation

requirements under a legislative authority such as the Environmental Assessment Act and Ontario Planning Act.

To whom (independent of Master Plan teams) do residents forward complaints, concerns, etc. about how staff & consultants are conducting or have conducted their public engagement process?

You can direct your concerns to Project Managers, consultant staff, and Ward Councillor(s). However, please note that Councillors and any upper City officials will and should still involve directly responsible staff for input/justification for choices made. Aside from this, the appeal process to MECP is the official route for EA processes, please read on.

How are those complaints, concerns, etc. processed?

If the question is looking for an appeal basis, appeals re EA processes/Master Plans have only been successful if a vital step in the EA process was missed and if so, not amended, only for specific projects, not the Master Plan as a whole. The appeals for EA projects are not based on whether an individual approves of the engagement process, but rather on whether the EA/Master Plan followed the requirements of the MCEA document. If the appeal were to be based on multiple PICs for the same material when all other rules were followed, then this would not be a successful appeal (in the opinion of consulted staff). More information may be required in order to answer this question fully.

To whom ultimately are Master Plan teams accountable regarding the public engagement component?

If EA based, as mentioned above – MECP, for example, if a Master Plan proposes that a new road is built – that's appealable. If the master Plan proposes that signage is changed, then this is not appealable as signage change does not involve a lot of disturbance to the ground/ natural environment.

Note: that as of 2020 appeals can only be submitted on the basis of Indigenous Rights and Treaties. The MECP is not clear how they will entertain and resolve appeals and complaints from others but have communicated to municipalities that they would still consider them. It is also important to state one's objections to the public engagement process to project managers and Council, because any appellant has to demonstrate that the proponent had a chance to address any concerns first.

Are Master Plan teams given sole or any discretion as to how they conduct and manage the public input phase of their Master Plan?

No, this is a very complex process with many internal checks and balances in addition to legal requirements and corporate best practices. It should also be noted that project teams for Master Plans are in consultation with all corporate departments during the project process and no PIC materials are released to the public prior to internal consultation/content being agreed upon by all involved.

Each EA project and EA based Master Plan must be vetted at Council, for their endorsement before completion (i.e., final posting for opportunity for 30-day public review and appeal opportunity).

Best wishes and stay safe, Cindy

 (She/Her)

Senior Project Manager, Community Engagement

City Manager's Office

Government and Community Relations, City of Hamilton

(905) 546-2424 Ext.4992

The City of Hamilton encourages physical distancing and increased handwashing. Learn more about the City's response to COVID-19 www.hamilton.ca/coronavirus

[REDACTED]
[REDACTED]
Subject: Re: Public Engagement Charter

Hello [REDACTED]

Thank you for your response. I emphasize however, that my questions have not been addressed.

Without actual public input, there is no public engagement period. This charter has been in effect since early 2015. I see plenty of policy language but no specific processes that must be followed, measured, and accounted for. It appears Master Plan teams/staff are left to manage public engagement completely on their own. I've participated in a number of initiatives including Master Plans for over 12 years so I'm speaking from plenty of experience and points of reference.

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This entire public engagement issue needs to be simplified and stripped down to the basics.

Question: What are we supposed to do when there is no formal, measured, accountable process in place? Contacting the team lead at the right hand side of the page is not the answer. They're the ones not adhering to and violating process. We are beyond that and intervention at another level is required. Where do we go from here?

Question: The Master Plan process to which I referred did not afford residents with sufficient opportunities to engage. What do we do now?

Question: When the public is not provided with opportunities to understand the Master Plan before them and appropriate number of meetings/forums are not afforded, what do we do?

Thank You,
Danusia

From: [REDACTED]
Sent: Friday, July 30, 2021 11:56 AM
To: [REDACTED]
Subject: RE: Public Engagement Charter

Hi [REDACTED]

Thanks for connecting! The City of Hamilton has a website that lists current Master Plans and Class EAs. You can review these and related information here: <https://www.hamilton.ca/city-planning/master-plans-class-eas>.

The Master Plans that are listed on Engage Hamilton are ones which have used the online platform as an engagement tool in addition to following legislative engagement requirements. If you have specific questions relating to a project featured on Engage Hamilton, you are most welcome to reach out to the staff lead listed in the contact section (right hand side of the project page).

The City of Hamilton has a decentralized public engagement structure. This means that we have staff that conduct public engagement across the corporation and are situated within different departments and divisions. I support public engagement from a corporate-wide lens, which includes leading the City's Public Engagement Community of Practice and providing internal engagement advice as well as supporting initiatives like the City's Public Engagement Policy and Framework, internal public engagement processes and methodologies, evaluation, etc.

If you would like to share any concerns with me directly, this would be helpful to support continuous improvement efforts in public engagement. My role is situated within the City Manager's Office (Community Initiatives Unit, under the direction of the Government and Community Relations Department).

The City also has an Internal Working Group comprised of cross-departmental staff that lead legislative engagement (EAs, Master Plans, PICs, etc). I am happy to share your questions with the Chairs of the Working Group and will provide back a response to your questions noted below.

[REDACTED]

[REDACTED] Engagement
City Manager's Office
Government and Community Relations, City of Hamilton



The City of Hamilton encourages physical distancing and increased handwashing. Learn more about the City's response to COVID-19 www.hamilton.ca/coronavirus



Hello [REDACTED]

Thank you very much for this information. At the root of public engagement at the very least, is basic, active public input.

Further to the above, the Public Engagement Charter and your response to my email, I have the following questions:

Note: When speaking of **Master Plans**, I'm referring to those that are **ultimately listed on the Engage Hamilton website**.

When speaking of **Master Plan teams**, I'm referring to **staff and consultants associated with those Master Plans**.

- What minimum number of PICs must be held as part of any Master Plan process?
- How far in advance of PICs must staff mail notices to residents?
- How far in advance of PICs must residents receive the notice?
- Where must notices of PICs appear and what is the advance timeframe, publishing deadline?
- If a specific number of PICs are listed as planned during a stakeholder presentation/meeting and only one is held, has a violation occurred?
- If so, what recourse do residents have?
- Must they (staff & consultants) follow through and hold those remaining PICs?
- Is there a certain time of year when PICs should or must be held? Are there recommended months, times of year to conduct them?
- 9. Are times of year that are not best suited for PICs? If so, are staff Master Plan Teams given months, times of year from which to steer away?
- Are there specific mandates, standards, protocols, timeframes that Master Plan teams must follow as a result of the Public Engagement Charter and outcomes you noted?
- To whom (independent of Master Plan teams) do residents forward complaints, concerns, etc. about how staff & consultants are conducting or have conducted their public engagement process?
- 12. How are those complaints, concerns, etc. processed?
- To whom ultimately are Master Plan teams accountable regarding the public engagement component?
- Are Master Plan teams given sole or any discretion as to how they conduct and manage the public input phase of their Master Plan?
- 15. Noting your title as being a role in Community Engagement in the City Manager's Office, is there actually a dedicated, staffed department that oversees the public engagement process?
- Thank you in advance.
-

- With Appreciation,

- [REDACTED]

-

In

From: [REDACTED]

Good Day [REDACTED]

Thanks for reaching out! As the Senior Project Manager for Community Engagement at the City, I am pleased to provide you with an update on some of our key public engagement efforts in relation to the City's Public Engagement Charter.

- The Public Engagement Charter (PEC) was endorsed by City Council in 2015
- The core principles of the PEC have been adopted by City staff and continue to help direct how the City of Hamilton engages with residents on key issues. For example, one of the first public engagement initiatives to apply the PEC core principles was the Our Future Hamilton project. From 2015-2016, the principles guided a year-long community consultation process that engaged over 55,000 residents, community partners and stakeholders to create Hamilton's new 25-year community vision (Our Future Hamilton). The 6 community priorities identified through this broad and inclusive engagement initiative also informed the City's 2016-2025 Strategic Plan. To learn more about Our Future Hamilton, please visit: <https://www.hamilton.ca/city-initiatives/priority-projects/our-future-hamilton>
- A number of internal initiatives have taken place to support the ongoing application of the City's PEC principles in City-led engagement efforts. Examples include the development of internal training initiatives and resources, such as our Public Engagement Toolkit and Catalogue of Public Engagement Techniques for staff as well as updated principles and practices for public engagement during COVID-19.
- In 2019, the City Manager's Office established an internal Public Engagement Community of Practice. The practice continues to grow and consists of over 75 staff from across all City departments that meet regularly to share knowledge, explore best practices, and foster innovation in public participation. The mandate of the practice is to improve public engagement outcomes for residents and staff practitioners. Through the practice, we established a 4-year workplan and host regular educational sessions that are aligned with the PEC and are shared through our internal corporate-wide networks and communications channels.
- A key outcome of the Practice's four-year workplan was the creation of a centralized online engagement platform where residents can learn about important City initiatives, share their feedback, and engage with community. On June 16, 2020, we launched [Engage Hamilton](#). Over the past year, there were over 53,431 unique visitors to the site. While the online platform has been helpful during this time of physical distancing, it is only one of many tools that City staff use to support public engagement efforts.

- As the City continuously adapts and responds to the challenges of the COVID-pandemic, our commitment to advancing inclusive City-led public engagement measures was reaffirmed during the City Manager's 2021 budget presentation whereby City Manager, Janette Smith, confirmed plans to establish a City-wide public engagement policy. The scope of work and project activities to support the establishment of corporate-wide Public Engagement Policy will be shared back with Council shortly this year.
- Benchmarking efforts to support continuous improvement in the area of public engagement are well underway and we are currently exploring new opportunities to report back to the public on our progress. We also share updates and raise awareness of current engagement opportunities via the Our Future Hamilton e-newsletter. You can sign-up to the newsletter on the OFH webpage (link above). Additional ways to get involved can be found on our Public Engagement webpage: <https://www.hamilton.ca/city-initiatives/priority-projects/hamilton-public-engagement>
- Public engagement processes related to Master Plans are required to conform with regulatory or legislated requirements. This includes Provincial and Municipal policies that have engagement processes that are mandated by legislation such as the Planning Act and/or Environmental Assessment Act. Examples of legislated engagement requirements include the distribution of hard copy notices to directly impacted stakeholders, advertisement of public meetings (PICs) in local newspapers one and two weeks prior to the meeting, as well as creation of a webpage on the City's website to hold copies of the notices, meeting panels, study reports and reports to Council. Additional engagement methods are also used in relation to the project scope, goals, objectives, target audience, etc.

I hope this was helpful. Thanks again for reaching out. Best wishes and stay safe, Cindy

 Engagement
 City Manager's Office
 Government and Community Relations, City of Hamilton
 (905) 546-2424 Ext4992



The City of Hamilton encourages physical distancing and increased handwashing Learn more about the City's response to COVID-19 www.hamilton.ca/coronavirus



Virus-free. www.avast.com

From: [Fazio, Margaret](#)
To: [Guy Paparella](#)
Cc: [Shams, Omar](#); [Norman, Gavin](#)
Subject: AEGD TMP Update Comments - Response
Date: July 5, 2021 3:38:00 PM
Attachments: [Scan_20210601.pdf](#)
[image001.jpg](#)

Hello Guy,

Please see the response to your comments as follows:

Collector 6N has been confirmed as a critical link in the transportation network (4 travel lanes) providing redundancy and efficient movement of people and goods. Collector 6E is proposed to be a 2 lane collector road, consistent with AEGD TMP 2011/2016, and traffic demand forecast and distribution patterns suggest that distribution of traffic from Collector 6N terminating at Collector 6E would have adverse impacts on parallel routes and overall transportation network. The alignment of Collector 6N and the intersection location with Upper James is somewhat flexible. Given the feedback received during this engagement phase we are considering relocating the proposed intersection of Collector 6N and Upper James southerly, to provide for double-sided development opportunities.

Regarding impacts to Natural Heritage feature, the study team has engaged with the Ministry of Natural Resources and Forestry, as well as the Niagara Peninsula Conservation Authority, and they have confirmed that municipal infrastructure is permitted to be constructed through these lands. The proposed location for Collector 6N transverses the Natural Heritage feature at its known narrowest point. Specific environmental impact assessment will be required as part of this roadway's Phases 3 and 4 Municipal Class EA process/Planning application to determine precise roadway alignment.

As per section 59 of the current Development Charges Act and Appendix E, (E.5.3) of the Hamilton Development Charges Background Study Report

(<https://www.hamilton.ca/sites/default/files/media/browser/2019-03-13/2019-development-charges-background-study-v2.pdf>),

Collector Roads internal to the proposed development are a direct responsibility of the developer, including approvals and all associated infrastructure. The proposed alignment of Collector 6N and removal of Collector 7E are an overall savings in roadway length in this quadrant.

The estimate of projected costs of individual roadway projects will be provided as part of the Environmental Study Report. We plan to bring it to the Planning Committee of Council in the Fall of this year and make it available for a minimum 30 day public review shortly thereafter.

Please let us know if you have additional questions.

Thank you,

Omar and Margaret

Margaret Fazio, B.Sc., EP, MCIP, RPP

Senior Project Manager, Infrastructure Planning

Growth Management, Planning and Economic Development Department

City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail:

Margaret.Fazio@hamilton.ca

DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.



From: Fazio, Margaret

Sent: June 21, 2021 1:51 PM

To: '2ducks300@gmail.com' <2ducks300@gmail.com>

Cc: Shams, Omar <Omar.Shams@hamilton.ca>

Subject: FW: AEGD TMP Update Comments

Hello Guy,

Thank you for the attached comments.

We have received a large volume of comments and are working through them in order of submission.

We will reply to you during the week of June 28th, 2021.

Sincerely,

Omar and Margaret

From: Guy Paparella <2ducks300@gmail.com>

Sent: June 1, 2021 7:58 AM

To: Fazio, Margaret <Margaret.Fazio@hamilton.ca>

Subject: AEGD TMP Update Comments

Please find attached my comment letter regarding the AEGD TMP Update.

Thank you.

Guy Paparella MCIP, RPP

President

Paparella Consulting Services Inc.

300 Powell Road, Brantford, Ontario N3T 0J8

Home Office: 519 751 2195

Mobile Phone: 519 732 5894

E-Mail: 2ducks300@gmail.com

Lopez, Kathia

From: Fazio, Margaret
Sent: Wednesday, December 9, 2020 4:24 PM
To: [REDACTED]
Chan, Alvin; Zajac, George; Norman, Gavin; Shams, Omar; Vrooman, Tim
Subject: FW: Airport Employment Growth District, Hamilton - Questions RE Transportation Master Plan
Attachments: AEGD Transportation Phasing.png; AEGD Transportation Plan.png

Hello [REDACTED]

The AEGD TMP Update is ongoing and we plan to provide an opportunity for comments/proposed changes to the existing network at a public meeting in Q1, 2021. Please let us know if you wish to be added to the project mailing list and in order to do so, please provide your full mailing address.

Answers to your other questions are as follows:

Q 1. I have been researching the City of Hamilton's Airport Employment Growth District Transportation Master Plan, and wanted to reach out to someone with respect to the current status of some of the capital works and road upgrades that were identified within this report, Specifically, is the City still planning on proceeding with the Collector 6N and Collector 7E as identified on 'Figure 5 - AEGD Revised Road Network Phasing'? See attached for context.

A 1. These Collector Roads are development driven in terms of timing. Also, please see A 3.

Q 2. Is there an anticipated ROW width for these road extensions?

A 2. These are classified as Collector Roads – 4 lanes. Suggest referring to the existing approved ROW in 2011 TMP available at the following web page: <https://www.hamilton.ca/city-planning/planning-community/airport-employment-growth-district>

FIG 32 provides the number of lanes (electronic pg. 121) and ROW potential configurations start on Figure 33 on e page 125. Fig 36 has 3 lane collector Cross Section and 33m ROW.

Q 3. Is this work still a short term priority for the City? Is there a timeline in place? Any details or information about this work you could provide would be helpful.

A 3. It is anticipated that Collector Roads will be constructed by land developers. There are other developers interested in developing areas through which the construction of the western portion of Collector 6N may be possible and the eastern portion of Collector 6N could link to. Development Planning (Tim Vrooman) may be able to provide details, if interested.

We hope this answers your questions?

Thank you,
Margaret

Margaret Fazio, B.Sc., EP, MCIP, RPP

Senior Project Manager, Infrastructure Planning
Growth Management, Planning and Economic Development Department
City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5
Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: [REDACTED]

DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.



From: [REDACTED] >

Sent: December 7, 2020 2:30 PM

To: Fazio, Margaret [REDACTED]; Shams, Omar [REDACTED]

Cc: Zajac, George <[REDACTED]>; Timothy Collins <[REDACTED]>; Norman, Gavin <[REDACTED]>; Chan, Alvin <Alvin.Chan@hamilton.ca>

Subject: Re: Airport Employment Growth District, Hamilton - Questions RE Transportation Master Plan

Hi Alvin,

Much appreciated.

Margaret/Omar, do you have any availability this week for a very brief discussion? Just looking for a high level overview of the AEGD TMP status and the planned Collector 6N and 7E.

Let me know what works best for you.

Thanks,

[REDACTED]

On Mon, Dec 7, 2020 at 2:13 PM Chan, Alvin [REDACTED] wrote:

[REDACTED]

The AEGD TMP is currently subject to an update and of note the two collectors you have identified are part of the review. I've cc'd Margaret Fazio and Omar Shams who are overseeing the update and would be best to consult with.

Alvin

■

From: [REDACTED] >

Sent: December 7, 2020 12:09 PM

To: Chan, Alvin [REDACTED] >

Cc: Zajac, George [REDACTED]; Timothy Collins <[REDACTED]>

Subject: Airport Employment Growth District, Hamilton - Questions RE Transportation Master Plan

Hello Alvin,

I have been researching the City of Hamilton's Airport Employment Growth District Transportation Master Plan, and wanted to reach out to someone with respect to the current status of some of the capital works and road upgrades that were identified within this report,

Specifically, is the City still planning on proceeding with the Collector 6N and Collector 7E as identified on '*Figure 5 - AEGD Revised Road Network Phasing*'? See attached for context.

Is there an anticipated ROW width for these road extensions?

Is this work still a short term priority for the City? Is there a timeline in place? Any details or information about this work you could provide would be helpful.

If you had any availability for a discussion this week, it would be greatly appreciated. Let me know if you have any questions. Please let me know if there is another staff member better suited to assist.

Thanks,

A black rectangular redaction box covering the signature area.

Lopez, Kathia

From: [REDACTED]
Sent: Friday, April 30, 2021 4:21 PM
To: [REDACTED]
[REDACTED] Fazio, Margaret; Shams, Omar; Vrooman, Tim
Subject: RE: AEGD TMP Update - Request for information on development behind [REDACTED]
connecting to right staff

Hello [REDACTED]

I understand you are seeking information on the Official Plan Amendment applications applicable to the lands to the rear of [REDACTED] which are currently being reviewed by the City.

Three applications have been submitted to the City (file #s UHOPA-20-018 / RHOPA-20-022, UHOPA-20-019/ RHOPA-20-023 and UHOPA-20-020 / RHOPA-20-024) and are applicable to the lands located at 9285, 9445, 9511, 9625 and 9751 Twenty Road West and 555 Glancaster Road.

The applications are proposing to add the lands to the City's urban boundary which will allow for the future development of the lands for residential uses. The applications are proposing the future development of a mix of residential dwelling types (single detached, townhouses and apartments) for a total of approximately 2,400 proposed units.

If these applications are approved, there would be additional planning studies and requirements which would need to be considered and approved prior to any development occurring on the lands. This would include the completion of a secondary plan or concept plan which would identify how the area would develop in terms of a road network and detailed land uses including parks and community facilities etc. Block servicing strategies would also be required which would identify how the lands would be serviced and the timing of that servicing. Finally, individual plans of subdivision would be required to create individual lots and local roads. Through those future studies and applications, consideration of surrounding land uses would be taken into account.

The three applications continue to be reviewed by the City at this time, and no public meeting date has been set for the consideration of these applications by the Planning Committee. As a surrounding property owner, you will receive notice of the date of the Planning Committee meeting in the mail. If you are interested, you can also receive a copy of the staff report when it is available, with all comments included. Please let me know and I will add your name to the list for report circulation.

Thank you, and please let me know if you require further information,

Heather Travis, MCIP, RPP

Senior Project Manager, Growth Management Strategy
Planning Division
Planning and Economic Development
City of Hamilton, 71 Main St W, 4th floor, L8P 4Y5
(905) 546-2424 Ext.4168



NOTE: As of March 18, all City of Hamilton offices and facilities have been closed to the public with the exception of the First Floor, City Hall, to help prevent the possible spread of the Covid-19 virus.

Planning staff will continue to serve the community over the phone or by email. However, staff are working from home as a precautionary measure to protect both the public and staff and staff will endeavour to reply to your email as soon as possible.

Digital submissions and resubmissions are preferred. Alternatively you may make your submission by courier, mail or by drop off at the First Floor, City Hall.

Please be aware that information on the City's response to Covid-19 and the City of Hamilton Official Plan, Zoning By-laws and submission requirements can be found on the City's website at www.hamilton.ca.

Thank you for your anticipated cooperation.

From: Fazio, Margaret [REDACTED] >

Sent: April 28, 2021 2:31 PM

To: [REDACTED]

Cc: Vrooman, Tim <Tim.Vrooman@hamilton.ca>; Shams, Omar <Omar.Shams@hamilton.ca>; Travis, Heather <Heather.Travis@hamilton.ca>

Subject: AEGD TMP Update - Request for information on development behind [REDACTED] . - connecting to right staff

Hello [REDACTED]

As requested, we have found two staff (Heather Travis and Tim Vrooman) who would be able to provide you with an update on the development applications in the area behind your property &/ just east of [REDACTED] .

I have included an aerial photo, below, to show the property in question and the road east of it, as discussed.

I understand that Heather would be the person to discuss the status of urban boundary application/zoning application, and Tim would be able to tell you about the status of the reminder of issues etc.



Trusting that this is helpful.
Please let us know if you have any further questions.

Thank you,

Margaret Fazio, B.Sc., EP, MCIP, RPP

Senior Project Manager, Infrastructure Planning

Growth Management, Planning and Economic Development Department

City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca

DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.



From: [REDACTED]
To: [Fazio, Margaret](#)
Cc: [Travis, Heather](#); [Johnson, Brenda](#); [Shams, Omar](#); [Norman, Gavin](#); [Molloy, Steve](#)
Subject: Community of Twenty Place / Re: AEGD / TMP - Response
Date: July 11, 2021 11:34:52 AM

Good morning,

Thank you for your acknowledgement of our submission and your response. This is very much appreciated.

As a spokesperson for our community I have shared your e-mail within our community. And yes, there is a great deal of interest and we, as a community, appreciate receiving updates as they become available to the public.

Regards,

[REDACTED]
[REDACTED]
[REDACTED]

From: [Fazio, Margaret](#)
Sent: Monday, July 05, 2021 4:31 PM
To: [REDACTED]
Cc: [Travis, Heather](#); [Johnson, Brenda](#); [Shams, Omar](#); [Norman, Gavin](#); [Molloy, Steve](#)
Subject: RE: AEGD / TMP - Response

Hello [REDACTED],

Thank you for your message, below. We apologize for the lateness of this response. We have engaged with a large number of agencies and the public on this project, and are late in reply due to resource limitations.

Please consider this email as acknowledgement of receipt of your submission on behalf of the Twenty Place community concerning Twenty Road expansion in the area as a result of planned employment growth and proposals for additional development south of Twenty Road.

The AEGD TMP proposes that Twenty Road be widened to accommodate 4 lanes of traffic, and to provide active transportation (pedestrian and cycling) infrastructure within it. As part of [Eco - Industrial Design Guidelines](#), Low Impact Development (LID) features are proposed along each road type within AEGD lands (i.e. arterials, collectors, locals), for sustainable roadway stormwater management.

Planning for growth in the City of Hamilton is undertaken in concert with existing

infrastructure and impacts to surrounding lands are considered and minimized. Please note that the timing of implementation of new infrastructure / improvements is development driven.

We will add you, at the below indicated address, to our mailing list for Notifications on the future AEGD TMP Update public consultation opportunities.

Please let us know if you have additional questions or comments.

Thank you,
Omar and Margaret

Margaret Fazio, B.Sc., EP, MCIP, RPP
Senior Project Manager, Infrastructure Planning
Growth Management, Planning and Economic Development Department

From: [REDACTED]
Sent: May 30, 2021 11:20 AM
To: Transportation <transportation@hamilton.ca>; iplanning <iplanning@hamilton.ca>; Fazio, Margaret <Margaret.Fazio@hamilton.ca>
Cc: Travis, Heather <Heather.Travis@hamilton.ca>; Johnson, Brenda <Brenda.Johnson@hamilton.ca>
Subject: AEGD / TMP

Good morning,

Reference : Hamilton Airport Employment Growth District, Transportation Master Plan -- Notice May 6, 2012

My name is [REDACTED] and I am submitting this e-mail to be recognized as a registered interested party with respect to this matter. I have been selected as a spokesperson for the community of twenty Place and as such would ask that all copies of public correspondence, notices, publications, etc. with respect to this study be sent to my attention.

Twenty Place is a resident owned community that borders on the north side of Twenty Road West. Our community is comprised of 657 residential units and housing just over one thousand residents, most of whom are in the age 55+ bracket. Of critical importance is the recognition that our community of approximately 33 hectares is immediately downstream from the AEGD lands and the issue of uncontrolled or poorly managed storm water and grey water flowing into our property is of great concern. Within our property we have and fully maintain eight (8) storm water ponds to avoid flooding and serious damage from major storms. They are not designed to manage excessive flow from upstream (AEGD lands).

With respect to this transportation study and plans for future expansion of existing roadways plus the addition of many new ones . . . this will result in a substantial increase to impervious surfaces. Without proper consideration given to the management and control of surface waters, we in Twenty Place will suffer. This is our primary request concerning the designs for all roadways within the AEGD , and especially the land area north of Dickenson Road West.

Our second concern focuses on Twenty Road West, the proposed extension of Garth Street and the expansion of Glanaster Road. Very specifically, Twenty Road West is designated as a " rural secondary " road. As such it is narrow , has NO shoulders, NO curbs, NO sidewalks and NO bike lanes or paths. It currently serves a few private residences along both sides of the narrow road as well as being the only access road for the residential communities of twenty Place and the Villages of Glanaster. Already there is conflict and safety issues among vehicles, pedestrians, joggers and cyclists who all use this roadway, not to mention those drivers who use Twenty Road as a shortcut to avoid the backups on Rymal Road. In addition, there are now four rezoning applications being considered by The City for the " white lands " on the south side of Twenty Road West -- which if approved as submitted will add an additional 2,450 residential units, housing approximately 6,800 new residents and bringing with them approximately 2,900 vehicles. Our request is that Twenty Road be properly redeveloped to meet all these increased demand prior (emphasis on PRIOR) to any new residential units being constructed.

We request that these two concerns be acknowledged within the context of this transportation study and request confirmation of the receipt of this submission.

Respectfully submitted on behalf of the residents of Twenty Place,

██████████, Spokesperson
c/o 84 Twentyplace Blvd.
Mount Hope, Ontario
LOR 1 W0

From: [Cole, Darlene](#)
To: [Fazio, Margaret](#)
Subject: [REDACTED]
Date: August 10, 2021 12:23:10 PM
Attachments: [image001.jpg](#)
[image002.jpg](#)

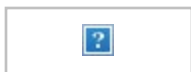
Hi Margaret,

Pleasant conversation yesterday afternoon with [REDACTED]. He understands that any activity is still 10 years off, and that the planning is in early days. The main concern here is with his well, and its replacement should the City need to take frontage – his well is at the front of the property. He also asked about compensation for property and myth about lower than market value paid by public authorities.

He was assured that the City compensates fairly, based on appraised market value, plus any additional ancillary costs (legal, survey, loss of chattels like fences, lighting, etc.). He stated that he still has one teen in school, so he plans on retaining the property for now but when the dependent is out on his own, he and his wife will look at retirement, but will likely remain in the area.

If we were to buy him out, he would prefer to replace what he has and in the same locale.

Darlene



Darlene Cole
Senior Real Estate Consultant
Real Estate Section
Economic Development Division
City of Hamilton
71 Main Street West, 7th Floor, City Hall
Hamilton, ON L8P 4Y5
905.546.2424 x 7910
Email: Darlene.Cole@hamilton.ca

Lopez, Kathia

From:



Wednesday, May 19, 2021 4:19 PM

To:

Fazio, Margaret; Shams, Omar

Subject:

re: AEGD presentation May13

I attended your Webex presentation last week. As a management consultant and professor for many years, I prepared and delivered hundreds of presentations. I appreciate the effort that goes into the preparation, and the emotional mix during delivery. Your presentation was very well prepared and delivery crisply professional. Congratulations on a job well done. Brava! Bravo!

Lopez, Kathia

From: [REDACTED]
Sent: Saturday, May 15, 2021 10:30 PM
To: Fazio, Margaret
Subject: RE: Airport Employment Growth District - Q&A re Twenty Road AT

Hi Margaret,

Thank you for getting back to me and for the detailed answers.

[REDACTED]

-----Original Message-----

From: Fazio, Margaret <Margaret.Fazio@hamilton.ca>
Sent: May 14, 2021 12:17 PM
To: [REDACTED]
Cc: Shams, Omar <Omar.Shams@hamilton.ca>
Subject: RE: Airport Employment Growth District - Q&A re Twenty Road AT

Hi [REDACTED]

Thank you for your question.
Glad that you got in touch with us now.

Re. Q No. 1 - There is no set timeline currently for Twenty Road reconstruction in the ten year capital budget. This, however, is subject to change, as that capital budget is approved by Council on an annual basis. Having said that, if developments proposed on the south side of Twenty Road were to trigger the need for that road reconstruction outside of the City's budget process (e.g. if development were to construct instead of the City), it may happen sooner. The length of the road reconstruction however, usually depends on the traffic/transportation needs of the development itself, so it is not certain at this time if the entire Twenty Road length (from Upper James Road to Glancaster Road) would be widened and reconstructed.

Re Q No. 2 - Yes, since Twenty Road is an arterial roadway the plan is for it to have Active Transportation facilities. We recognize that the hydro corridor runs along the south side of the road, and the City Wide trail system is proposed to merge with Twenty Road and potentially with the Hydro Corridor. That may end up being the location for Active Transportation in this corridor in the future, but we won't know for certain until further studies are carried out.

Please let us know if you have further questions.

Thank you,
Margaret

Margaret Fazio, B.Sc., EP, MCIP, RPP
Senior Project Manager, Infrastructure Planning Growth Management, Planning and Economic Development
Department City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5
Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.

-----Original Message-----

From: [REDACTED]
Sent: May 14, 2021 7:39 AM
To: Fazio, Margaret <Margaret.Fazio@hamilton.ca>
Subject: Re: Airport Employment Growth District

Hi Margaret,

Just wondering if it would be possible to have someone respond to my requests.

Thanks,

[REDACTED]
> On Apr 29, 2021, at 8:48 AM, Chan, Alvin <Alvin.Chan@hamilton.ca> wrote:

>
> [REDACTED]
>
> Your inquiry has been sent to our infrastructure planning group who would be in a better position to advise.

>
> Alvin
>

> -----Original Message-----

> From: [REDACTED]
> Sent: April 29, 2021 8:30 AM
> To: Chan, Alvin <Alvin.Chan@hamilton.ca>; Zajac, George
> <George.Zajac@hamilton.ca>
> Subject: Airport Employment Growth District

>
> Good morning Alvin/George,

>
> I was recently looking at the City's plans for the Airport Employment Growth District and I was hoping that you can help me with something. In looking at the Transportation Master Plan I see that there is a plan to widen Twenty Road between Upper James and Glancaster. I was curious about two things:

- > 1. Is there a timeline for when that portion will begin construction?
> 2. Will sidewalks be considered for the section of Twenty between Garth and Upper James for the portions that currently don't have sidewalks? My reason for asking this question is that my family and I like to bike/walk on this stretch and there is no sidewalk and minimal shoulder so it's a little difficult to use active transportation there.

>
> Thank you for taking the time to address this request.

>
> [REDACTED]

Lopez, Kathia

From: Zajac, George
Sent: Monday, October 18, 2021 9:45 AM
To: [REDACTED]
Cc: Fulford, Alana; McPhail, Delia; Shams, Omar; Fazio, Margaret; Norman, Gavin; Chan, Alvin
Subject: FW: Hamilton Airport Employment Growth - Transportation & Servicing Update
Attachments: Ancaster Land [REDACTED]

[REDACTED]

Further to your below inquiry, I understand Delia McPhail, copied, provided the below response. In addition, see additional responses embedded in your e-mail in **red**.

The lands located at 209 Book Road East (Parcel #1 and #2) are not located within the Airport Employment Growth District Secondary Plan, which is depicted on [Map B.8.1 – Airport Employment Growth District Secondary Plan](#) of Volume 2 of the [Urban Hamilton Official Plan](#). The subject lands are designated “Rural” on [Schedule D – Rural Land Use Designations](#) of the [Rural Hamilton Official Plan](#).

The subject lands are identified on Volume 1: [Appendix D](#) of the Rural Hamilton Official Plan as being above the 35 NEF Contour of the John C. Munro International Airport. Because the policies of [Section C.4.8 - Airport](#) prohibit development of residential uses and other sensitive land uses above 35 NEF, any future urban boundary expansion that would bring municipal services to the lands would be associated with the need for additional employment lands. Furthermore, the City’s current growth management strategy, known as [GRIDS 2](#), does not forecast the need for more employment land prior to the year 2051, based on Provincial forecasts. Therefore, the extension of municipal services is not imminent.

That being said, Parcel #3 is located within the AEGD Secondary Plan area. The northerly portion of Parcel #3 is zoned as M11 Airport Prestige Business. The southerly portion of the land, abutting Book Road East, is zoned as P7 (Conservation/hazard lands). As per the approved and planned road network, the developable part of the land is not directly accessible. In consultation with the Conservation Authorities, accommodations are required to provide access to the developable portion of the parcel via a local road.

Trusting this assists, but let us know if you have any further inquiries.

Regards,

George.

George T. Zajac, Dipl.M.A., CPT, MCIP, RPP
Senior Project Manager
Planning & Economic Development Department, Growth Planning Section
City of Hamilton, 71 Main St. W, 6th floor, L8P 4Y5
Ph: (905) 546-2424 ext. 3933
Fax: (905) 546-4202
Email: George.Zajac@hamilton.ca

From: [REDACTED]
Sent: October 14, 2021 5:01 PM
To: Zajac, George <George.Zajac@hamilton.ca>
Subject: Hamilton Airport Employment Growth - Transportation & Servicing Update

Hi George:

We represent the landowner of 140 acres located within the Hamilton Airport Employment Growth District Transportation Master Plan Update Study Area. This landowner owns three (3) parcels as identified on the attached aerial photo: Parcels #1 and #2 being 51 acres and 53 acres located to the West of Hwy 6, fronting to the north of Book Road East and Parcel #3 being about 37 acres and located to the west of Hwy 6, also fronting along the north of Book Road East. One of these western parcels has the municipal address 209 Book Road East. We could also supply a legal description of these parcels if needed.

Alana Fulford at the City kindly directed us to speak with you regarding our interest in determining the following:

1. Your thoughts or plan for access to Parcel #3 (the East of Hwy 6 Parcel). This East Parcel does not appear to be accessible from Collector 2N. Will allowances be made to access this land from Book Road East? **The TMP only shows collector and arterial roads. This parcel will require access from abutting parcels to the east via a local road connection. Access to the parcel if it doesn't get consolidated will be protected through the subdivision planning process.**
2. A comment or contact at the City responsible for Engineering and/or City Capital Budgeting to learn the current servicing timelines and/or process for funding servicing. Any updates on servicing and/or potential development on adjacent or nearby private landowners would also be useful; and This are of the AEGD is in phase 2. **Servicing timelines for Phase 2 have not been determined and not in the 10 capital plan. This particular area being farther out would not be expected to be serviceable in the 10 year time frame; however, timing is very much dependent on the pace of growth in the Phase 1 area to the north and east.**
3. Cost-sharing committee membership or correspondence in this regard that we may participate in. **Currently the AEGD Secondary Plan does not require block servicing plans or land ownership groups that would typically include the need to consider cost sharing; however, this approach is not discouraged.**

Thank you for your kind attention to this matter.

Best regards,

[Redacted Signature]

[Redacted Name]

THOMPSON
centres

[Redacted Address Line 1]

[Redacted Address Line 2]

[Redacted Address Line 3]

Lopez, Kathia

From: iplanning
Sent: Friday, May 14, 2021 1:51 PM
To: Fazio, Margaret; Shams, Omar
Subject: FW: AEGD

From: [REDACTED]
Sent: Friday, May 14, 2021 1:41 PM
To: iplanning <iplanning@hamilton.ca>
Subject: AEGD

Hi Margaret Fazio

I was hoping to attend the Public Information Meeting in regards to the AEGD but was unable to join in.

I do have some questions and actually would like to speak with someone if possible.

What is the best way to connect? My phone is [REDACTED] or replying to this email works fine too.

Thanks for your time

[REDACTED]

Lopez, Kathia

From: iplanning
Sent: Tuesday, May 4, 2021 1:50 PM
To: Fazio, Margaret
Subject: FW: AEGD TMP

From: [REDACTED]
Sent: Tuesday, May 4, 2021 6:22 AM
To: iplanning <iplanning@hamilton.ca>
Subject: AEGD TMP

Good morning Ms Fazio,

I hope this finds you and your loved ones well. I noticed that you are the senior project manager for the Airport Employment Growth District Transportation Master Plan Update which is currently available on the Engage Hamilton website [HERE](#) and I hoped you could answer three questions please.

The introduction on the page states:

The AEGD TMP is a strategic policy document developed to provide a framework which guides future transportation-related studies, projects, initiatives and decisions within AEGD. This study is following the Municipal Class EA (October 2000, as amended 2007, 2011 & 2015), which will complete Phases 1 for new Roadways and 2 for previously approved Roadways.

1) I noticed that two areas of land, one bordered by Dickenson, Glancaster, Upper James and Twenty Rd west, the other parcel across from Redeemer college roughly bordered by Garner, Springbrook and the Christian Highschool are part of the AEGD study. I was just playing around with the zoning map and it looks like these areas all all zoned either A2, P8 and P4 and not within the AEGD or the residential areas.

Are these two areas going to be rezoned?

2) I noticed from the Upper West Side Community project's website [HERE](#) that they are well into the planning stages:

The Upper West Side Community will be located between Twenty Road West, Dickenson Road, Upper James Street and Glancaster Road.

The community will offer Hamilton an innovative, and more importantly, affordable residential and housing community. The proposed development will provide enough homes for 5,750 new residents in Hamilton.

Is the Upper West Side community project the reason why the Dickenson, Glancaster, Upper James and Twenty Rd W. parcel is included in your AEGD TMP?

Are cycling/pedestrian and trails networks being planned as part of this TMP for this community?

Thank you for your time,

Kindly,



Ancaster

Lopez, Kathia

From: Fazio, Margaret
Sent: Friday, May 14, 2021 9:52 AM
To: Shams, Omar
Subject: FW: Followup to AEGD TMP update May13

From: iplanning <iplanning@hamilton.ca>
Sent: May 14, 2021 8:35 AM
To: Fazio, Margaret <Margaret.Fazio@hamilton.ca>
Subject: FW: Followup to AEGD TMP update May13

From: [REDACTED]
Sent: Thursday, May 13, 2021 9:12 PM
To: iplanning <iplanning@hamilton.ca>
Subject: Followup to AEGD TMP update May13

Hi Margaret

You Omar and staff did a good job making your presentation and handling the Q & A session.

Near the end of the question period a question about parks and green space came up and you handled it .

In your answer you said that current green space including residences along Glancaster Rd would not become part of the AEGD. These homes would remain as existing residences. On the map the green extends from twenty rd on the east side of Glancaster south but not all the way to Dickenson Rd and not on the north side of Dickenson Rd. Is this correct ? Are there a few homes on Glancaster and homes on the north side of Dickenson Rd that are not part of the green space or am I not reading the map correctly.?

I look forward to hearing from you.

Thanks

[REDACTED]

Ministry of the Environment,
Conservation and Parks

Environmental Assessment Branch

1st Floor
135 St. Clair Avenue W
Toronto [ON M4V 1P5](#)
Tél.: 416 314-8001
Fax.: 416 314-8452

Ministère de l'Environnement, de la
Protection de la nature et des Parcs

*Direction des évaluations
environnementales*

Rez-de-chaussée
135, avenue St. Clair Ouest
Toronto [ON M4V 1P5](#)
Tél. : 416 314-8001
Téléc. : 416 314-8452



May 20, 2021

Margaret Fazio
City of Hamilton

Omar Shams
City of Hamilton

Re: **Hamilton Airport Employment Growth District Transportation Master Plan Update
(AEGD TMP Update)
City of Hamilton
Municipal Class EA Master Plan
Response to Notice of Commencement**

Dear Margaret Fazio and Omar Shams,

This letter is in response to the Notice of Commencement for the above noted project. The Ministry of the Environment, Conservation and Parks (MECP) acknowledges that the City of Hamilton has indicated that the study is following the approved environmental planning process for a Master Class project under the Municipal Class Environmental Assessment (Class EA).

The **updated (February 2021)** attached "Areas of Interest" document provides guidance regarding the ministry's interests with respect to the Class EA process. Please address all areas of interest in the EA documentation at an appropriate level for the EA study. Proponents who address all the applicable areas of interest can minimize potential delays to the project schedule. **Further information is provided at the end of the Areas of Interest document relating to recent changes to the Environmental Assessment Act through Bill 197, Covid-19 Economic Recovery Act 2020.**

The Crown has a legal duty to consult Aboriginal communities when it has knowledge, real or constructive, of the existence or potential existence of an Aboriginal or treaty right and contemplates conduct that may adversely impact that right. Before authorizing this project, the Crown must ensure that its duty to consult has been fulfilled, where such a duty is triggered. Although the duty to consult with Aboriginal peoples is a duty of the Crown, the Crown may delegate procedural aspects of this duty to project proponents while retaining oversight of the consultation process.

The proposed project may have the potential to affect Aboriginal or treaty rights protected under Section 35 of Canada's *Constitution Act* 1982. Where the Crown's duty to consult is triggered in relation to the proposed project, **the MECP is delegating the procedural aspects of rights-based consultation to the proponent through this letter.** The Crown intends to rely on the delegated

consultation process in discharging its duty to consult and maintains the right to participate in the consultation process as it sees fit.

Based on information provided to date and the Crown's preliminary assessment the proponent is required to consult with the following communities who have been identified as potentially affected by the proposed project:

- Mississaugas of the Credit First Nation
- Six Nations of the Grand River (both Elected Council and Haudenosaunee Confederacy Chiefs Council)

Steps that the proponent may need to take in relation to Aboriginal consultation for the proposed project are outlined in the "[Code of Practice for Consultation in Ontario's Environmental Assessment Process](#)". Additional information related to Ontario's Environmental Assessment Act is available online at: www.ontario.ca/environmentalassessments.

Please also refer to the attached document "A Proponent's Introduction to the Delegation of Procedural Aspects of consultation with Aboriginal Communities" for further information, including the MECP's expectations for EA report documentation related to consultation with communities.

The proponent must contact the Director of Environmental Assessment Branch (EABDirector@ontario.ca) under the following circumstances subsequent to initial discussions with the communities identified by MECP:

- Aboriginal or treaty rights impacts are identified to you by the communities
- You have reason to believe that your proposed project may adversely affect an Aboriginal or treaty right
- Consultation with Indigenous communities or other stakeholders has reached an impasse
- A Part II Order request is expected on the basis of impacts to Aboriginal or treaty rights

The MECP will then assess the extent of any Crown duty to consult for the circumstances and will consider whether additional steps should be taken, including what role you will be asked to play should additional steps and activities be required.

A draft copy of the report should be sent directly to me prior to the filing of the final report, allowing a minimum of 30 days for the ministry's technical reviewers to provide comments.

Please also ensure a copy of the final notice is sent to the ministry's West Central Region EA notification email account (eanotification.swregion@ontario.ca) after the draft report is reviewed and finalized.

Should you or any members of your project team have any questions regarding the material above, please contact me at joan.delvillarcuicas@ontario.ca or 365-889-1189.

Yours truly,

A handwritten signature in black ink, appearing to read "Joan Del Villar C". The signature is stylized with a large, sweeping initial "J" and a long horizontal stroke at the end.

Joan Del Villar C
Regional Environmental Assessment Coordinator – West Central Region

cc Katy Potter, Supervisor, Environmental Assessment Services, MECP

Attach: Areas of Interest

A Proponent's Introduction to the Delegation of Procedural Aspects of Consultation with
Aboriginal Communities

AREAS OF INTEREST (v. February 2021)

It is suggested that you check off each section after you have considered / addressed it.

☐ Planning and Policy

- Projects located in MECP Central Region are subject to [A Place to Grow: Growth Plan for the Greater Golden Horseshoe \(2020\)](#). Parts of the study area may also be subject to the [Oak Ridges Moraine Conservation Plan \(2017\)](#), [Niagara Escarpment Plan \(2017\)](#), [Greenbelt Plan \(2017\)](#) or [Lake Simcoe Protection Plan \(2014\)](#). Applicable plans and the applicable policies should be identified in the report, and the proponent should describe how the proposed project adheres to the relevant policies in these plans.
- The [Provincial Policy Statement \(2020\)](#) contains policies that protect Ontario's natural heritage and water resources. Applicable policies should be referenced in the report, and the proponent should describe how the proposed project is consistent with these policies.
- In addition to the provincial planning and policy level, the report should also discuss the planning context at the municipal and federal levels, as appropriate.

☐ Source Water Protection

The *Clean Water Act*, 2006 (CWA) aims to protect existing and future sources of drinking water. To achieve this, several types of vulnerable areas have been delineated around surface water intakes and wellheads for every municipal residential drinking water system that is located in a source protection area. These vulnerable areas are known as a Wellhead Protection Areas (WHPAs) and surface water Intake Protection Zones (IPZs). Other vulnerable areas that have been delineated under the CWA include Highly Vulnerable Aquifers (HVAs), Significant Groundwater Recharge Areas (SGRAs), Event-based modelling areas (EBAs), and Issues Contributing Areas (ICAs). Source protection plans have been developed that include policies to address existing and future risks to sources of municipal drinking water within these vulnerable areas.

Projects that are subject to the Environmental Assessment Act that fall under a Class EA, or one of the Regulations, have the potential to impact sources of drinking water if they occur in designated vulnerable areas or in the vicinity of other at-risk drinking water systems (i.e. systems that are not municipal residential systems). MEA Class EA projects may include activities that, if located in a vulnerable area, could be a threat to sources of drinking water (i.e. have the potential to adversely affect the quality or quantity of drinking water sources) and the activity could therefore be subject to policies in a source protection plan. Where an activity poses a risk to drinking water, policies in the local source protection plan may impact how or where that activity is undertaken. Policies may prohibit certain activities, or they may require risk management measures for these activities. Municipal Official Plans, planning decisions, Class EA projects (where the project includes an activity that is a threat to drinking water) and prescribed instruments must conform with policies that address significant risks to drinking water and must have regard for policies that address moderate or low risks.

- In October 2015, the MEA Parent Class EA document was amended to include reference to the Clean Water Act (Section A.2.10.6) and indicates that proponents undertaking a Municipal Class EA project must identify early in their process whether a project is or could potentially be occurring with a vulnerable area. **Given this requirement, please include a section in the report on source water protection.**
 - The proponent should identify the source protection area and should clearly document how the proximity of the project to sources of drinking water (municipal or other) and any delineated vulnerable areas was considered and assessed. Specifically, the report should discuss whether or not the project is located in a vulnerable area and provide applicable details about the area.

- If located in a vulnerable area, proponents should document whether any project activities are prescribed drinking water threats and thus pose a risk to drinking water (this should be consulted on with the appropriate Source Protection Authority). Where an activity poses a risk to drinking water, the proponent must document and discuss in the report how the project adheres to or has regard to applicable policies in the local source protection plan. This section should then be used to inform and be reflected in other sections of the report, such as the identification of net positive/negative effects of alternatives, mitigation measures, evaluation of alternatives etc.
- While most source protection plans focused on including policies for significant drinking water threats in the WHPAs and IPZs it should be noted that even though source protection plan policies may not apply in HVAs, these are areas where aquifers are sensitive and at risk to impacts and within these areas, activities may impact the quality of sources of drinking water for systems other than municipal residential systems.
- In order to determine if this project is occurring within a vulnerable area, proponents can use this mapping tool: <http://www.applications.ene.gov.on.ca/swp/en/index.php>. Note that various layers (including WHPAs, WHPA-Q1 and WHPA-Q2, IPZs, HVAs, SGRAs, EBAs, ICAs) can be turned on through the “Map Legend” bar on the left. The mapping tool will also provide a link to the appropriate source protection plan in order to identify what policies may be applicable in the vulnerable area.
- For further information on the maps or source protection plan policies which may relate to their project, proponents must contact the appropriate source protection authority. **Please consult with the local source protection authority to discuss potential impacts on drinking water. Please document the results of that consultation within the report and include all communication documents/correspondence.**

More Information

For more information on the *Clean Water Act*, source protection areas and plans, including specific information on the vulnerable areas and drinking water threats, please refer to [Conservation Ontario's website](#) where you will also find links to the local source protection plan/assessment report.

A list of the prescribed drinking water threats can be found in [section 1.1 of Ontario Regulation 287/07](#) made under the *Clean Water Act*. In addition to prescribed drinking water threats, some source protection plans may include policies to address additional “local” threat activities, as approved by the MECP.

☐ **Climate Change**

The document "[Considering Climate Change in the Environmental Assessment Process](#)" (Guide) is now a part of the Environmental Assessment program's Guides and Codes of Practice. The Guide sets out the MECP's expectation for considering climate change in the preparation, execution and documentation of environmental assessment studies and processes. The guide provides examples, approaches, resources, and references to assist proponents with consideration of climate change in EA. Proponents should review this Guide in detail.

• **The MECP expects proponents of Class EA projects to:**

1. Consider during the assessment of alternative solutions and alternative designs, the following:
 - a. the project's expected production of greenhouse gas emissions and impacts on carbon sinks (climate change mitigation); and
 - b. resilience or vulnerability of the undertaking to changing climatic conditions (climate change adaptation).
2. Include a discrete section in the report detailing how climate change was considered in the EA.

How climate change is considered can be qualitative or quantitative in nature and should be scaled to the project's level of environmental effect. In all instances, both a project's impacts on climate change (mitigation) and impacts of climate change on a project (adaptation) should be considered.

- The MECP has also prepared another guide to support provincial land use planning direction related to the completion of energy and emission plans. The "[Community Emissions Reduction Planning: A Guide for Municipalities](#)" document is designed to educate stakeholders on the municipal opportunities to reduce energy and greenhouse gas emissions, and to provide guidance on methods and techniques to incorporate consideration of energy and greenhouse gas emissions into municipal activities of all types. We encourage you to review the Guide for information.

□ **Air Quality, Dust and Noise**

- If there are sensitive receptors in the surrounding area of this project, a quantitative air quality/odour impact assessment will be useful to evaluate alternatives, determine impacts and identify appropriate mitigation measures. The scope of the assessment can be determined based on the potential effects of the proposed alternatives, and typically includes source and receptor characterization and a quantification of local air quality impacts on the sensitive receptors and the environment in the study area. The assessment will compare to all applicable standards or guidelines for all contaminants of concern. **Please contact this office for further consultation on the level of Air Quality Impact Assessment required for this project if not already advised.**
- If a quantitative Air Quality Impact Assessment is not required for the project, the MECP expects that the report contain a qualitative assessment which includes:
 - A discussion of local air quality including existing activities/sources that significantly impact local air quality and how the project may impact existing conditions;
 - A discussion of the nearby sensitive receptors and the project's potential air quality impacts on present and future sensitive receptors;
 - A discussion of local air quality impacts that could arise from this project during both construction and operation; and
 - A discussion of potential mitigation measures.
- As a common practice, "air quality" should be used as an evaluation criterion for all road projects.
- Dust and noise control measures should be addressed and included in the construction plans to ensure that nearby residential and other sensitive land uses within the study area are not adversely affected during construction activities.
- The MECP recommends that non-chloride dust-suppressants be applied. For a comprehensive list of fugitive dust prevention and control measures that could be applied, refer to [Cheminfo Services Inc. Best Practices for the Reduction of Air Emissions from Construction and Demolition Activities](#) report prepared for Environment Canada. March 2005.
- The report should consider the potential impacts of increased noise levels during the operation of the completed project. The proponent should explore all potential measures to mitigate significant noise impacts during the assessment of alternatives.

□ **Ecosystem Protection and Restoration**

- Any impacts to ecosystem form and function must be avoided where possible. The report should describe any proposed mitigation measures and how project planning will protect and enhance the local ecosystem.
- Natural heritage and hydrologic features should be identified and described in detail to assess potential impacts and to develop appropriate mitigation measures. The following sensitive environmental features may be located within or adjacent to the study area:

- Key Natural Heritage Features: Habitat of endangered species and threatened species, fish habitat, wetlands, areas of natural and scientific interest (ANSIs), significant valleylands, significant woodlands; significant wildlife habitat (including habitat of special concern species); sand barrens, savannahs, and tallgrass prairies; and alvars.
- Key Hydrologic Features: Permanent streams, intermittent streams, inland lakes and their littoral zones, seepage areas and springs, and wetlands.
- Other natural heritage features and areas such as: vegetation communities, rare species of flora or fauna, Environmentally Sensitive Areas, Environmentally Sensitive Policy Areas, federal and provincial parks and conservation reserves, Greenland systems etc.

We recommend consulting with the Ministry of Natural Resources and Forestry (MNRF), Fisheries and Oceans Canada (DFO) and your local conservation authority to determine if special measures or additional studies will be necessary to preserve and protect these sensitive features. In addition, you may consider the provisions of the Rouge Park Management Plan if applicable.

□ **Species at Risk**

- The Ministry of the Environment, Conservation and Parks has now assumed responsibility of Ontario's Species at Risk program. Information, standards, guidelines, reference materials and technical resources to assist you are found at <https://www.ontario.ca/page/species-risk>.
- The Client's Guide to Preliminary Screening for Species at Risk (Draft May 2019) has been attached to the covering email for your reference and use. Please review this document for next steps.
- For any questions related to subsequent permit requirements, please contact SAROntario@ontario.ca.

□ **Surface Water**

- The report must include enough information to demonstrate that there will be no negative impacts on the natural features or ecological functions of any watercourses within the study area. Measures should be included in the planning and design process to ensure that any impacts to watercourses from construction or operational activities (e.g. spills, erosion, pollution) are mitigated as part of the proposed undertaking.
- Additional stormwater runoff from new pavement can impact receiving watercourses and flood conditions. Quality and quantity control measures to treat stormwater runoff should be considered for all new impervious areas and, where possible, existing surfaces. The ministry's [Stormwater Management Planning and Design Manual \(2003\)](#) should be referenced in the report and utilized when designing stormwater control methods. **A Stormwater Management Plan should be prepared as part of the Class EA process** that includes:
 - Strategies to address potential water quantity and erosion impacts related to stormwater draining into streams or other sensitive environmental features, and to ensure that adequate (enhanced) water quality is maintained
 - Watershed information, drainage conditions, and other relevant background information
 - Future drainage conditions, stormwater management options, information on erosion and sediment control during construction, and other details of the proposed works
 - Information on maintenance and monitoring commitments.
- Ontario Regulation 60/08 under the *Ontario Water Resources Act* (OWRA) applies to the Lake Simcoe Basin, which encompasses Lake Simcoe and the lands from which surface water drains into Lake Simcoe. If the proposed sewage treatment plant is listed in Table 1 of the regulation, the report should describe how the proposed project and its mitigation measures are consistent with the requirements of this regulation and the OWRA.

- Any potential approval requirements for surface water taking or discharge should be identified in the report. A Permit to Take Water (PTTW) under the OWRA will be required for any water takings that exceed 50,000 L/day, except for certain water taking activities that have been prescribed by the Water Taking EASR Regulation – O. Reg. 63/16. These prescribed water-taking activities require registration in the EASR instead of a PTTW. Please review the [Water Taking User Guide for EASR](#) for more information. Additionally, an Environmental Compliance Approval under the OWRA is required for municipal stormwater management works.

☐ **Groundwater**

- The status of, and potential impacts to any well water supplies should be addressed. If the project involves groundwater takings or changes to drainage patterns, the quantity and quality of groundwater may be affected due to drawdown effects or the redirection of existing contamination flows. In addition, project activities may infringe on existing wells such that they must be reconstructed or sealed and abandoned. Appropriate information to define existing groundwater conditions should be included in the report.
- If the potential construction or decommissioning of water wells is identified as an issue, the report should refer to Ontario Regulation 903, Wells, under the OWRA.
- Potential impacts to groundwater-dependent natural features should be addressed. Any changes to groundwater flow or quality from groundwater taking may interfere with the ecological processes of streams, wetlands or other surficial features. In addition, discharging contaminated or high volumes of groundwater to these features may have direct impacts on their function. Any potential effects should be identified, and appropriate mitigation measures should be recommended. The level of detail required will be dependent on the significance of the potential impacts.
- Any potential approval requirements for groundwater taking or discharge should be identified in the report. A Permit to Take Water (PTTW) under the OWRA will be required for any water takings that exceed 50,000 L/day, with the exception of certain water taking activities that have been prescribed by the Water Taking EASR Regulation – O. Reg. 63/16. These prescribed water-taking activities require registration in the EASR instead of a PTTW. Please review the [Water Taking User Guide for EASR](#) for more information.
- Consultation with the railroad authorities is necessary wherever there is a plan to use construction dewatering in the vicinity of railroad lines or where the zone of influence of the construction dewatering potentially intercepts railroad lines.

☐ **Excess Materials Management**

- In December 2019, MECP released a new regulation under the Environmental Protection Act, titled “[On-Site and Excess Soil Management](#)” (O. Reg. 406/19) to support improved management of excess construction soil. This regulation is a key step to support proper management of excess soils, ensuring valuable resources don’t go to waste and to provide clear rules on managing and reusing excess soil. New risk-based standards referenced by this regulation help to facilitate local beneficial reuse which in turn will reduce greenhouse gas emissions from soil transportation, while ensuring strong protection of human health and the environment. The new regulation is being phased in over time, with the first phase in effect on January 1, 2021. For more information, please visit <https://www.ontario.ca/page/handling-excess-soil>.

- The report should reference that activities involving the management of excess soil should be completed in accordance with O. Reg. 406/19 and the MECP's current guidance document titled "[Management of Excess Soil – A Guide for Best Management Practices](#)" (2014).
- All waste generated during construction must be disposed of in accordance with ministry requirements

□ **Contaminated Sites**

- Any current or historical waste disposal sites should be identified in the report. The status of these sites should be determined to confirm whether approval pursuant to Section 46 of the EPA may be required for land uses on former disposal sites. We recommend referring to the [MECP's D-4 guideline](#) for land use considerations near landfills and dumps.
 - Resources available may include regional/local municipal official plans and data; provincial data on [large landfill sites](#) and [small landfill sites](#); Environmental Compliance Approval information for waste disposal sites on [Access Environment](#).
- Other known contaminated sites (local, provincial, federal) in the study area should also be identified in the report (Note – information on federal contaminated sites is found on the Government of Canada's [website](#)).
- The location of any underground storage tanks should be investigated in the report. Measures should be identified to ensure the integrity of these tanks and to ensure an appropriate response in the event of a spill. The ministry's Spills Action Centre must be contacted in such an event.
- Since the removal or movement of soils may be required, appropriate tests to determine contaminant levels from previous land uses or dumping should be undertaken. If the soils are contaminated, you must determine how and where they are to be disposed of, consistent with *Part XV.1 of the Environmental Protection Act* (EPA) and Ontario Regulation 153/04, Records of Site Condition, which details the new requirements related to site assessment and clean up. Please contact the appropriate MECP District Office for further consultation if contaminated sites are present.

□ **Servicing, Utilities and Facilities**

- The report should identify any above or underground utilities in the study area such as transmission lines, telephone/internet, oil/gas etc. The owners should be consulted to discuss impacts to this infrastructure, including potential spills.
- The report should identify any servicing infrastructure in the study area such as wastewater, water, stormwater that may potentially be impacted by the project.
- Any facility that releases emissions to the atmosphere, discharges contaminants to ground or surface water, provides potable water supplies, or stores, transports or disposes of waste must have an Environmental Compliance Approval (ECA) before it can operate lawfully. Please consult with MECP's Environmental Permissions Branch to determine whether a new or amended ECA will be required for any proposed infrastructure.
- We recommend referring to the ministry's [environmental land use planning guides](#) to ensure that any potential land use conflicts are considered when planning for any infrastructure or facilities related to wastewater, pipelines, landfills or industrial uses.

□ **Mitigation and Monitoring**

- Contractors must be made aware of all environmental considerations so that all environmental standards and commitments for both construction and operation are met. Mitigation measures should be clearly referenced in the report and regularly monitored during the construction stage of the project. In addition, we encourage proponents to conduct post-construction monitoring to ensure all mitigation measures have been effective and are functioning properly.
- Design and construction reports and plans should be based on a best management approach that centres on the prevention of impacts, protection of the existing environment, and opportunities for rehabilitation and enhancement of any impacted areas.
- The proponent's construction and post-construction monitoring plans must be documented in the report, as outlined in Section A.2.5 and A.4.1 of the MEA Class EA parent document.

□ **Consultation**

- The report must demonstrate how the consultation provisions of the Class EA have been fulfilled, including documentation of all stakeholder consultation efforts undertaken during the planning process. This includes a discussion in the report that identifies concerns that were raised and **describes how they have been addressed by the proponent** throughout the planning process. The report should also include copies of comments submitted on the project by interested stakeholders, and the proponent's responses to these comments (as directed by the Class EA to include full documentation).
- Please include the full stakeholder distribution/consultation list in the documentation.

□ **Class EA Process**

- If this project is a Master Plan: there are several different approaches that can be used to conduct a Master Plan, examples of which are outlined in Appendix 4 of the Class EA. **The Master Plan should clearly indicate the selected approach for conducting the plan**, by identifying whether the levels of assessment, consultation and documentation are sufficient to fulfill the requirements for Schedule B or C projects. Please note that any Schedule B or C projects identified in the plan would be subject to Part II Order Requests under the Environmental Assessment Act, although the plan itself would not be. **Please include a description of the approach being undertaken (use Appendix 4 as a reference).**
- If this project is a Master Plan: Any identified projects should also include information on the MCEA schedule associated with the project.
- The report should provide clear and complete documentation of the planning process in order to allow for transparency in decision-making.
- The Class EA requires the consideration of the effects of each alternative on all aspects of the environment (including planning, natural, social, cultural, economic, technical). The report should include a level of detail (e.g. hydrogeological investigations, terrestrial and aquatic assessments, cultural heritage assessments) such that all potential impacts can be identified, and appropriate mitigation measures can be developed. Any supporting studies conducted during the Class EA process should be referenced and included as part of the report.
- Please include in the report a list of all subsequent permits or approvals that may be required for the implementation of the preferred alternative, including but not limited to, MECP's PTTW, EASR Registrations and ECAs, conservation authority permits, species at risk permits, MTO permits and approvals under the *Impact Assessment Act*, 2019.

- Ministry guidelines and other information related to the issues above are available at <http://www.ontario.ca/environment-and-energy/environment-and-energy>. We encourage you to review all the available guides and to reference any relevant information in the report.

Amendments to the EAA through the Covid-19 Economic Recovery Act, 2020

Once the EA Report is finalized, the proponent must issue a Notice of Completion providing a minimum 30-day period during which documentation may be reviewed and comment and input can be submitted to the proponent. The Notice of Completion must be sent to the appropriate MECP Regional Office email address (for projects in MECP Southwest Region, the email is eanotification.swregion@ontario.ca).

The public has the ability to request a higher level of assessment on a project if they are concerned about potential adverse impacts to constitutionally protected Aboriginal and treaty rights. In addition, the Minister may issue an order on his or her own initiative within a specified time period. The Director (of the Environmental Assessment Branch) will issue a Notice of Proposed Order to the proponent if the Minister is considering an order for the project within 30 days after the conclusion of the comment period on the Notice of Completion. At this time, the Director may request additional information from the proponent. Once the requested information has been received, the Minister will have 30 days within which to make a decision or impose conditions on your project.

Therefore, the proponent cannot proceed with the project until at least 30 days after the end of the comment period provided for in the Notice of Completion. Further, the proponent may not proceed after this time if:

- a Part II Order request has been submitted to the ministry regarding potential adverse impacts to constitutionally protected Aboriginal and treaty rights, or
- the Director has issued a Notice of Proposed order regarding the project.

Please ensure that the Notice of Completion advises that outstanding concerns are to be directed to the proponent for a response, and that in the event there are outstanding concerns regarding potential adverse impacts to constitutionally protected Aboriginal and treaty rights, Part II Order requests on those matters should be addressed in writing to:

Minister Jeff Yurek
Ministry of Environment, Conservation and Parks
777 Bay Street, 5th Floor
Toronto ON M7A 2J3
minister.mecp@ontario.ca

and

Director, Environmental Assessment Branch
Ministry of Environment, Conservation and Parks
135 St. Clair Ave. W, 1st Floor
Toronto ON, M4V 1P5
EABDirector@ontario.ca

A PROPONENT'S INTRODUCTION TO THE DELEGATION OF PROCEDURAL ASPECTS OF CONSULTATION WITH ABORIGINAL COMMUNITIES

DEFINITIONS

The following definitions are specific to this document and may not apply in other contexts:

Aboriginal communities – the First Nation or Métis communities identified by the Crown for the purpose of consultation.

Consultation – the Crown's legal obligation to consult when the Crown has knowledge of an established or asserted Aboriginal or treaty right and contemplates conduct that might adversely impact that right. This is the type of consultation required pursuant to s. 35 of the *Constitution Act, 1982*. Note that this definition does not include consultation with Aboriginal communities for other reasons, such as regulatory requirements.

Crown – the Ontario Crown, acting through a particular ministry or ministries.

Procedural aspects of consultation – those portions of consultation related to the process of consultation, such as notifying an Aboriginal community about a project, providing information about the potential impacts of a project, responding to concerns raised by an Aboriginal community and proposing changes to the project to avoid negative impacts.

Proponent – the person or entity that wants to undertake a project and requires an Ontario Crown decision or approval for the project.

I. PURPOSE

The Crown has a legal duty to consult Aboriginal communities when it has knowledge of an existing or asserted Aboriginal or treaty right and contemplates conduct that may adversely impact that right. In outlining a framework for the duty to consult, the Supreme Court of Canada has stated that the Crown may delegate procedural aspects of consultation to third parties. This document provides general information about the Ontario Crown's approach to delegation of the procedural aspects of consultation to proponents.

This document is not intended to instruct a proponent about an individual project, and it does not constitute legal advice.

II. WHY IS IT NECESSARY TO CONSULT WITH ABORIGINAL COMMUNITIES?

The objective of the modern law of Aboriginal and treaty rights is the *reconciliation* of Aboriginal peoples and non-Aboriginal peoples and their respective rights, claims and interests. Consultation is an important component of the reconciliation process.

The Crown has a legal duty to consult Aboriginal communities when it has knowledge of an existing or asserted Aboriginal or treaty right and contemplates conduct that might adversely impact that right. For example, the Crown's duty to consult is triggered when it considers issuing a permit, authorization or approval for a project which has the potential to adversely impact an Aboriginal right, such as the right to hunt, fish, or trap in a particular area.

The scope of consultation required in particular circumstances ranges across a spectrum depending on both the nature of the asserted or established right and the seriousness of the potential adverse impacts on that right.

Depending on the particular circumstances, the Crown may also need to take steps to accommodate the potentially impacted Aboriginal or treaty right. For example, the Crown may be required to avoid or minimize the potential adverse impacts of the project.

III. THE CROWN'S ROLE AND RESPONSIBILITIES IN THE DELEGATED CONSULTATION PROCESS

The Crown has the responsibility for ensuring that the duty to consult, and accommodate where appropriate, is met. However, the Crown may delegate the procedural aspects of consultation to a proponent.

There are different ways in which the Crown may delegate the procedural aspects of consultation to a proponent, including through a letter, a memorandum of understanding, legislation, regulation, policy and codes of practice.

If the Crown decides to delegate procedural aspects of consultation, the Crown will generally:

- Ensure that the delegation of procedural aspects of consultation and the responsibilities of the proponent are clearly communicated to the proponent;
- Identify which Aboriginal communities must be consulted;
- Provide contact information for the Aboriginal communities;
- Revise, as necessary, the list of Aboriginal communities to be consulted as new information becomes available and is assessed by the Crown;
- Assess the scope of consultation owed to the Aboriginal communities;
- Maintain appropriate oversight of the actions taken by the proponent in fulfilling the procedural aspects of consultation;
- Assess the adequacy of consultation that is undertaken and any accommodation that may be required;
- Provide a contact within any responsible ministry in case issues arise that require direction from the Crown; and
- Participate in the consultation process as necessary and as determined by the Crown.

IV. THE PROPONENT'S ROLE AND RESPONSIBILITIES IN THE DELEGATED CONSULTATION PROCESS

Where aspects of the consultation process have been delegated to a proponent, the Crown, in meeting its duty to consult, will rely on the proponent's consultation activities and documentation of those activities. The consultation process informs the Crown's decision of whether or not to approve a proposed project or activity.

A proponent's role and responsibilities will vary depending on a variety of factors including the extent of consultation required in the circumstance and the procedural aspects of consultation the Crown has delegated to it. Proponents are often in a better position than the Crown to discuss a project and its potential impacts with Aboriginal communities and to determine ways to avoid or minimize the adverse impacts of a project.

A proponent can raise issues or questions with the Crown at any time during the consultation process. If issues or concerns arise during the consultation that cannot be addressed by the proponent, the proponent should contact the Crown.

a) What might a proponent be required to do in carrying out the procedural aspects of consultation?

Where the Crown delegates procedural aspects of consultation, it is often the proponent's responsibility to provide notice of the proposed project to the identified Aboriginal communities. The notice should indicate that the Crown has delegated the procedural aspects of consultation to the proponent and should include the following information:

- a description of the proposed project or activity;
- mapping;
- proposed timelines;
- details regarding anticipated environmental and other impacts;
- details regarding opportunities to comment; and
- any changes to the proposed project that have been made for seasonal conditions or other factors, where relevant.

Proponents should provide enough information and time to allow Aboriginal communities to provide meaningful feedback regarding the potential impacts of the project. Depending on the nature of consultation required for a project, a proponent also may be required to:

- provide the Crown with copies of any consultation plans prepared and an opportunity to review and comment;
- ensure that any necessary follow-up discussions with Aboriginal communities take place in a timely manner, including to confirm receipt of information, share and update information and to address questions or concerns that may arise;
- as appropriate, discuss with Aboriginal communities potential mitigation measures and/or changes to the project in response to concerns raised by Aboriginal communities;
- use language that is accessible and not overly technical, and translate material into Aboriginal languages where requested or appropriate;
- bear the reasonable costs associated with the consultation process such as, but not limited to, meeting hall rental, meal costs, document translation(s), or to address technical & capacity issues;
- provide the Crown with all the details about potential impacts on established or asserted Aboriginal or treaty rights, how these concerns have been considered and addressed by the proponent and the Aboriginal communities and any steps taken to mitigate the potential impacts;
- provide the Crown with complete and accurate documentation from these meetings and communications; and
- notify the Crown immediately if an Aboriginal community not identified by the Crown approaches the proponent seeking consultation opportunities.

b) What documentation and reporting does the Crown need from the proponent?

Proponents should keep records of all communications with the Aboriginal communities involved in the consultation process and any information provided to these Aboriginal communities.

As the Crown is required to assess the adequacy of consultation, it needs documentation to satisfy itself that the proponent has fulfilled the procedural aspects of consultation delegated to it. The documentation required would typically include:

- the date of meetings, the agendas, any materials distributed, those in attendance and copies of any minutes prepared;
- the description of the proposed project that was shared at the meeting;
- any and all concerns or other feedback provided by the communities;
- any information that was shared by a community in relation to its asserted or established Aboriginal or treaty rights and any potential adverse impacts of the proposed activity, approval or disposition on such rights;
- any proposed project changes or mitigation measures that were discussed, and feedback from Aboriginal communities about the proposed changes and measures;
- any commitments made by the proponent in response to any concerns raised, and feedback from Aboriginal communities on those commitments;
- copies of correspondence to or from Aboriginal communities, and any materials distributed electronically or by mail;
- information regarding any financial assistance provided by the proponent to enable participation by Aboriginal communities in the consultation;
- periodic consultation progress reports or copies of meeting notes if requested by the Crown;
- a summary of how the delegated aspects of consultation were carried out and the results; and
- a summary of issues raised by the Aboriginal communities, how the issues were addressed and any outstanding issues.

In certain circumstances, the Crown may share and discuss the proponent's consultation record with an Aboriginal community to ensure that it is an accurate reflection of the consultation process.

c) Will the Crown require a proponent to provide information about its commercial arrangements with Aboriginal communities?

The Crown may require a proponent to share information about aspects of commercial arrangements between the proponent and Aboriginal communities where the arrangements:

- include elements that are directed at mitigating or otherwise addressing impacts of the project;
- include securing an Aboriginal community's support for the project; or
- may potentially affect the obligations of the Crown to the Aboriginal communities.

The proponent should make every reasonable effort to exempt the Crown from confidentiality provisions in commercial arrangements with Aboriginal communities to the extent necessary to allow this information to be shared with the Crown.

The Crown cannot guarantee that information shared with the Crown will remain confidential. Confidential commercial information should not be provided to the Crown as part of the consultation record if it is not relevant to the duty to consult or otherwise required to be submitted to the Crown as part of the regulatory process.

V. WHAT ARE THE ROLES AND RESPONSIBILITIES OF ABORIGINAL COMMUNITIES' IN THE CONSULTATION PROCESS?

Like the Crown, Aboriginal communities are expected to engage in consultation in good faith. This includes:

- responding to the consultation notice;
- engaging in the proposed consultation process;
- providing relevant documentation;
- clearly articulating the potential impacts of the proposed project on Aboriginal or treaty rights; and
- discussing ways to mitigate any adverse impacts.

Some Aboriginal communities have developed tools, such as consultation protocols, policies or processes that provide guidance on how they would prefer to be consulted. Although not legally binding, proponents are encouraged to respect these community processes where it is reasonable to do so. Please note that there is no obligation for a proponent to pay a fee to an Aboriginal community in order to enter into a consultation process.

To ensure that the Crown is aware of existing community consultation protocols, proponents should contact the relevant Crown ministry when presented with a consultation protocol by an Aboriginal community or anyone purporting to be a representative of an Aboriginal community.

VI. WHAT IF MORE THAN ONE PROVINCIAL CROWN MINISTRY IS INVOLVED IN APPROVING A PROPONENT'S PROJECT?

Depending on the project and the required permits or approvals, one or more ministries may delegate procedural aspects of the Crown's duty to consult to the proponent. The proponent may contact individual ministries for guidance related to the delegation of procedural aspects of consultation for ministry-specific permits/approvals required for the project in question. Proponents are encouraged to seek input from all involved Crown ministries sooner rather than later.



Hydro One Networks Inc
483 Bay St
Toronto, ON

May 13, 2021

Re: Airport Employment Growth District Transportation Master Plan Update

Attention:
Margaret Fazio
Senior Project Manager
City of Hamilton

Thank you for sending us notification regarding (Airport Employment Growth District Transportation Master Plan Update). In our preliminary assessment, we have confirmed that Hydro One has existing high voltage Transmission facilities within your study area (see map attached). At this time we do not have sufficient information to comment on the potential resulting impacts that your project may have on our infrastructure. As such, we must stay informed as more information becomes available so that we can advise if any of the alternative solutions present actual conflicts with our assets, and if so; what resulting measures and costs could be incurred by the proponent. Note that this response does not constitute approval for your plans and is being sent to you as a courtesy to inform you that we must continue to be consulted on your project.

In addition to the existing infrastructure mentioned above, the applicable transmission corridor may have provisions for future lines or already contain secondary land uses (e.g., pipelines, watermains, parking). Please take this into consideration in your planning.

Also, we would like to bring to your attention that should (Airport Employment Growth District Transportation Master Plan Update) result in a Hydro One station expansion or transmission line replacement and/or relocation, an Environmental Assessment (EA) will be required as described under the Class Environmental Assessment for Minor Transmission Facilities (Hydro One, 2016). This EA process would require a minimum of 6 months for a Class EA Screening Process (or up to 18 months if a Full Class EA were to be required) to be completed. Associated costs will be allocated and recovered from proponents in accordance with the Transmission System Code. If triggered, Hydro One will rely on studies completed as part of the EA you are current undertaking.

Consulting with Hydro One on such matters during your project's EA process is critical to avoiding conflicts where possible or, where not possible, to streamlining processes (e.g., ensuring study coverage of expansion/relocation areas within the current EA). Once in receipt of more specific project information regarding the potential for conflicts (e.g., siting, routing), Hydro One will be in a better position to communicate objections or not objections to alternatives proposed.

If possible at this stage, please formally confirm that Hydro One infrastructure and associated rights-of-way will be completely avoided, or if not possible, allocate appropriate lead-time in your project schedule to collaboratively work through potential conflicts with Hydro One, which ultimately could result in timelines identified above.

In planning, note that developments should not reduce line clearances or limit access to our infrastructure at any time. Any construction activities must maintain the electrical clearance from the transmission line conductors as specified in the Ontario Health and Safety Act for the respective line voltage.

Be advised that any changes to lot grading or drainage within, or in proximity to Hydro One transmission corridor lands must be controlled and directed away from the transmission corridor.

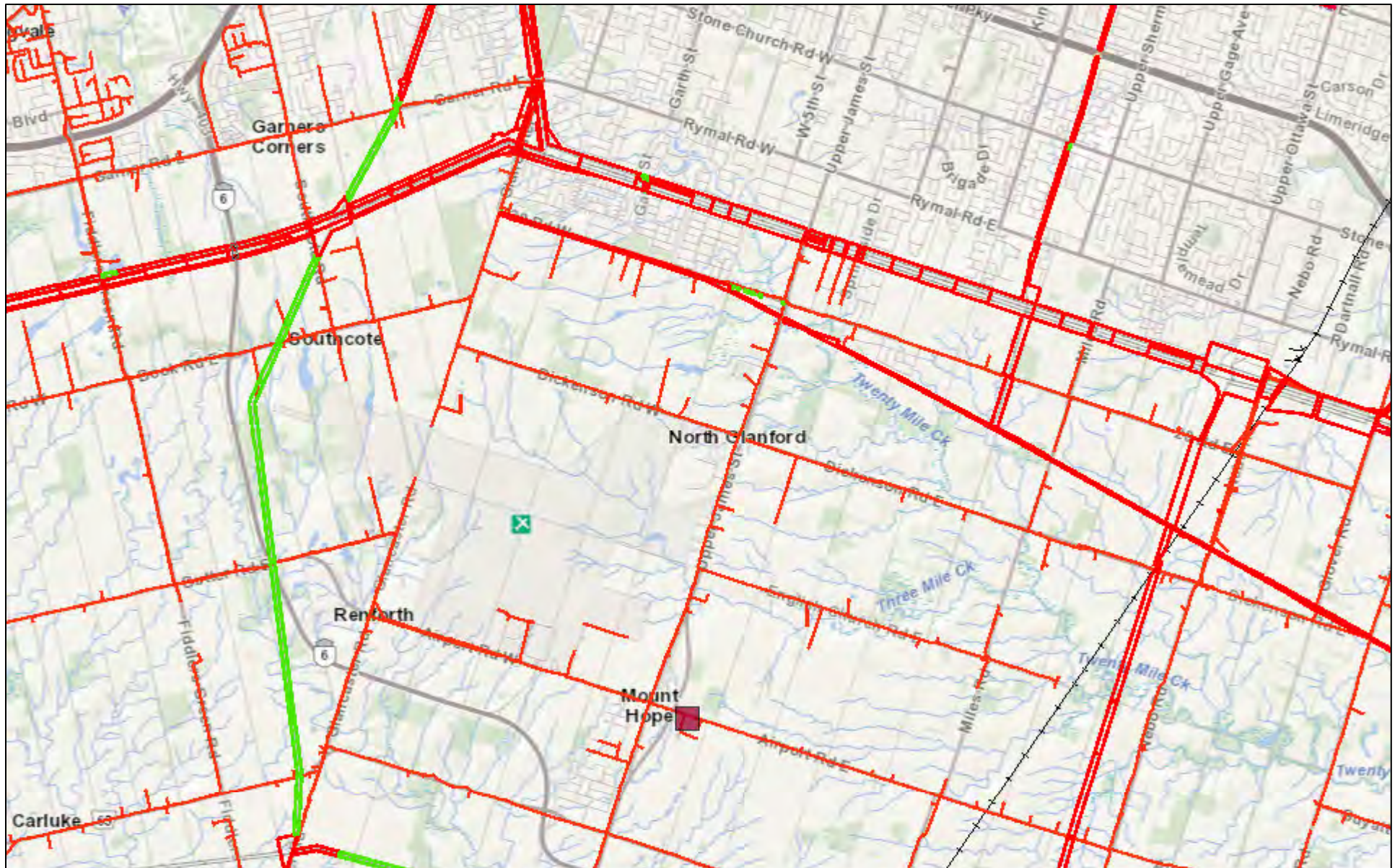
Please note that the proponent will be held responsible for all costs associated with modifications or relocations of Hydro One infrastructure that result from your project, as well as any added costs that may be incurred due to increased efforts to maintain said infrastructure.

We reiterate that this message does not constitute any form of approval for your project. Hydro One must be consulted during all stages of your project. Please ensure that all future communications about this and future project(s) are sent to us electronically to secondarylanduse@hydroone.com

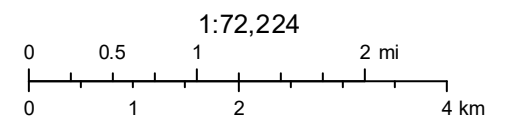
Sent on behalf of,

***Secondary Land Use
Asset Optimization
Strategy & Integrated Planning
Hydro One Networks Inc.***

Landscape PDF



May 12, 2021



From: [Fazio, Margaret](#)
To: Derek.Heavens@enbridge.com
Cc: [Shams, Omar](#)
Subject: RE: AEGD Transportation Master Plan (Update): Proposed Industrial Road Cross-sections - Request for comments by October 28, 2022.
Date: Monday, December 5, 2022 2:02:00 PM

Hello Derek,

Thank you for your comments, below. We strove to address them internally as much as possible.

The space between curbs and edge of right - of - way will be available for use to utilities, according to the City's Engineering Development Guidelines.

Please let us know if you have further questions or wish to discuss.

Thank you,
Omar Shams (ext. 7474) and Margaret Fazio

Margaret Fazio, B.Sc., EP, MCIP, RPP

(She/her)

Senior Project Manager, Infrastructure Planning

Growth Management, Planning and Economic Development Department

City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail:

Margaret.Fazio@hamilton.ca

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The City of Hamilton encourages physical distancing, wearing a mask in an enclosed public space, and increased handwashing. Learn more about the City's response to COVID-19 www.hamilton.ca/coronavirus.



From: iplanning <iplanning@hamilton.ca>

Sent: October 31, 2022 3:11 PM

To: Fazio, Margaret <Margaret.Fazio@hamilton.ca>; Shams, Omar <Omar.Shams@hamilton.ca>

Subject: FW: AEGD Transportation Master Plan (Update): Proposed Industrial Road Cross-sections - Request for comments by October 28, 2022.

FYI

From: Derek Heavens <Derek.Heavens@enbridge.com>

Sent: October 31, 2022 2:46 PM

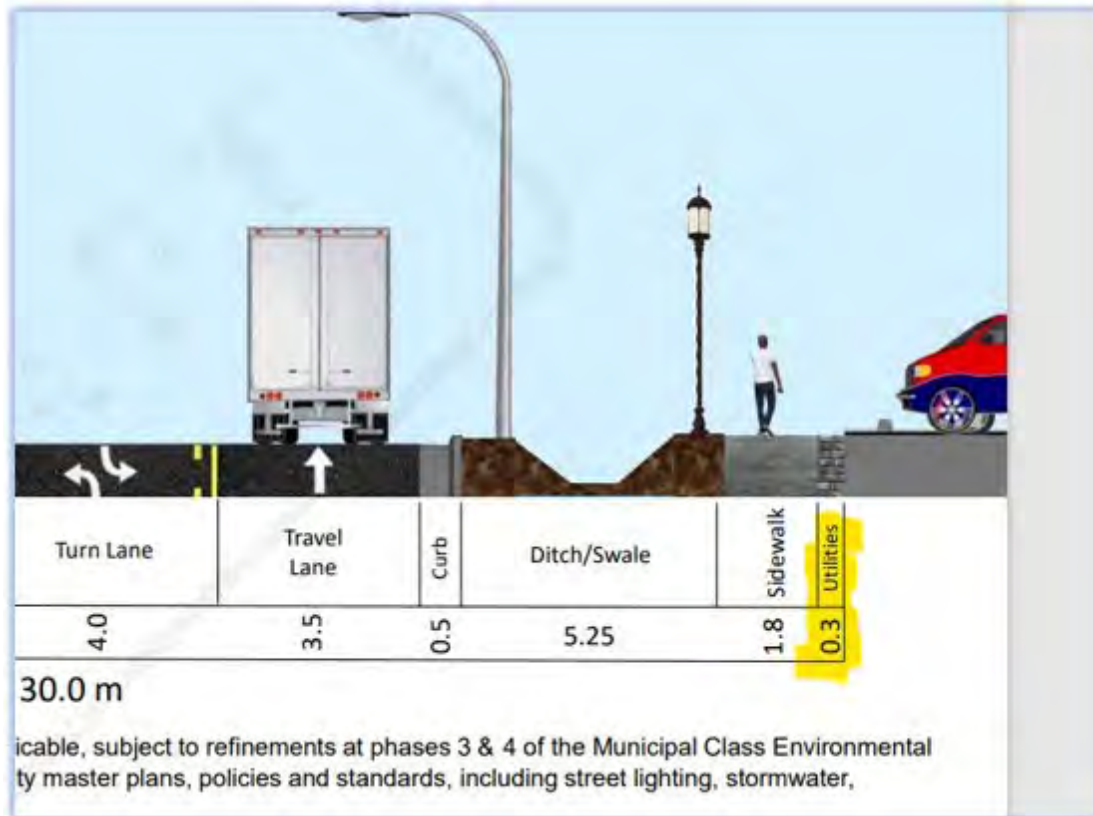
To: Fazio, Margaret <Margaret.Fazio@hamilton.ca>; Transportation <transport@hamilton.ca>;
iplanning <iplanning@hamilton.ca>

Subject: RE: AEGD Transportation Master Plan (Update): Proposed Industrial Road Cross-sections - Request for comments by October 28, 2022.

Hi Margaret/Omar,

I was just forwarded the email below.

I noticed that the area identified for 'Utilities' varies in size from 0.3m-1.5m depending on the Road Allowance width. I'm not sure if utilities must stay within this zone, but in many cases this would be impossible or very difficult to accommodate all the underground utilities.



Thanks,

DH.

Derek Heavens

Advisor, Construction & Project Management
Construction and Growth

ENBRIDGE

TEL: 289-649-2030 Ext 5213020 | dheavens@uniongas.com

918 South Service Rd, Stoney Creek, Ontario, L8E 5M4

enbridge.com

Safety. Integrity. Respect. Inclusion

From: Fazio, Margaret <Margaret.Fazio@hamilton.ca>

Sent: Monday, October 24, 2022 12:08 PM

To: dbelange@city.guelph.on.ca; eeichenbaum@haldimandconty.on.ca; jkuriger@haldimandcounty.on.ca; SvanDeKeere@regionofwaterloo.ca; jscime@wetlincoln.ca; clerks@city.cambridge.on.ca; pam.gilroy@regional.niagara.on.ca; carolyn.rvall@niagararegion.ca; kvout@town.grimsby.on.ca; donnaw@county.wellington.on.ca; ddeLUce@npca.ca; smastroianni@npca.ca; Andrej.Obradovic@ontario.ca; tspeck@conservationhamilton.ca; kim.peters@ontario.ca; debbie.ramsays@ontario.ca; lsmith@hrca.on.ca; Mike Stone <Mike.Stone@conservationhamilton.ca>; karla.barboza@ontario.ca; hayley.berlin@ontario.ca; paul.bloye@ontario.ca; Ted.Lagakos@ontario.ca; jennifer.chown@opp.ca; ainsley.davidson@infrastructureontario.ca; tracey.dawson-kinnonen@ontario.ca; eanotification.wcregion@ontario.ca; Del Villar Cuicas, Joan (MECP) <Joan.DelVillarCuicas@ontario.ca>; michael.falconi@ontario.ca; susan.golets@ontario.ca; laura.e.hatcher@ontario.ca; michael.helfinger@ontario.ca; dawn.irish@ontario.ca; tate.kelly@infrastructureontario.ca; meaghan.klasses@opp.ca; darryl.lyons@ontario.ca; alex.lye@infrastructureontario.ca; dan.minkin@ontario.ca; lisa.myslicki@infrastructureontario.ca; jennifer.paetz@ontario.ca; andrea.pastori@ontario.ca; debbie.ramsays@ontario.ca; khater.safi@ontario.ca; NoticeReview@infrastructureontario.ca; Mark.J.White@ontario.ca; jason.white@ontario.ca; UCA-CAU@aadnc-aandc.gc.ca; cosewic@cosepac@ec.gc.ca; louise.knox@ceaa-acee.gc.ca; sandro.leonardelli@canada.ca; CASO-SCO@tc.gc.ca; susan.waters@aandc.gc.ca; afevex@glancrookconservation.on.ca; info@stopthequarry.ca; abrylowski@brucetrail.org; contactus@environmenthamilton.org; mcclaughlin@hamiltonharbour.ca; info@hamiltoncatch.org; capc@capc.hamilton.on.ca; hwcouncil@gmail.com; information@hcfon.ca; terr_ardelli@transcanada.com; Merv Weishar <Merv.Weishar@enbridge.com>; Eastern Region Crossing <est.reg.crossing@enbridge.com>; Notifications <Notifications@enbridge.com>; Michael.crown@hcetechnologies.com; Enzo Greco <Enzo.Greco@enbridge.com>; bauton@uniongas.com; shawn.forbes@htetechnologies.com; info@sun-canadian.com; randy.leppert@cogeco.com; tammy.wong@opg.com; Joan.Zhao@HydroOne.com; lcastiglione@flyhamilton.ca; chair@cyclehamilton.ca; landuse@navcanada.ca; cpuckering@flyhamilton.ca; christistma@gmail.com; jason.ryan@metrolinx.com; drasula@flyhamilton.ca; lisa.salsberg@metrolinx.com; asanneh@flyhamilton.ca; Smart Commute <smartcommute@hamilton.ca>; mturpin@flyhamilton.ca; michael.vallins@cn.ca; caitlin@rahb.ca

Cc: Shams, Omar <Omar.Shams@hamilton.ca>

Subject: [External] AEGD Transportation Master Plan (Update): Proposed Industrial Road Cross-sections - Request for comments by October 28, 2022.

CAUTION! EXTERNAL SENDER

Were you expecting this email? TAKE A CLOSER LOOK. Is the sender legitimate?

DO NOT click links or open attachments unless you are 100% sure that the email is safe.

Hello,

*Please find attached the Notice with link to proposed **Industrial Road Cross-Sections** for the Airport Employment Growth District (AEGD) Transportation Master Plan (TMP) Update for Collector and Arterial roadways.*

Establishing the basic elements and dimensioning of the collector and arterial road

system is an important step in the master plan process that will inform the development of standardized cross-sections to be implemented as development of the business park proceeds. The purpose of circulating these to you is to solicit input including consideration of potential changes that would form part of the approved TMP Update.

Note approval of the TMP satisfies Phase 1 and 2 of the Municipal Class Environmental Assessment process. As such, all proposed TMP collector and arterial roadways will still require additional study to satisfy Phases 3 and 4 of the process.

Please provide comments or questions by October 28, 2022 to the undersigned.

Thank you,

Omar Shams

Project Manager, Transportation Planning
Transportation Planning and Parking
Planning and Economic Development Department
City of Hamilton
E-mail: Transport@hamilton.ca
Tel: 905-546-2424 Ext. 7474

Margaret Fazio, B.Sc., EP, MCIP, RPP

(She/her)

Senior Project Manager, Infrastructure Planning
Growth Management, Planning and Economic Development Department
City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5
Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail:
Margaret.Fazio@hamilton.ca

-
The City of Hamilton encourages physical distancing, wearing a mask in an enclosed public space, and increased handwashing. Learn more about the City's response to COVID-19 www.hamilton.ca/coronavirus.



AEGD TMP Update - Agency List

<i>Job Title</i>	<i>Organization</i>	<i>Street Address</i>	<i>City and Province</i>	<i>Postal Code</i>
City of Hamilton				
Senior Project Manager, Development Planning, Heritage and Design Wards 1 to 5	Planning & Economic Development	5 - 71 Main Street West	Hamilton ON	L8P 4Y5
Manager, Development Engineering Construction	Planning & Economic Development	71 Main Street West, 6th Floor	Hamilton, ON	L8P 4Y5
Project Manager	Planning & Economic Development	6 - 71 Main Street West	Hamilton ON	L8P 4Y5
Senior Project Manager, Water & Wastewater Systems Planning	Public Works	77 James St. N., Suite 400	Hamilton, ON	L8R 2K3
Manager, Community Initiatives	Community & Emergency Services	28 James Street North, 5th Floor	Hamilton, ON	L8R 2K1
Director, Water and Wastewater Planning & Capital	Public Works	77 James St. N., Suite 400	Hamilton, ON	L8R 2K3
Director of Tourism and Culture	Planning and Economic Development	28 James St. N., 2nd Floor	Hamilton, ON	L8R 2K1
Cultural Heritage Planner, Wards 6 to 15	Planning & Economic Development	71 Main Street West, 5th Floor	Hamilton, ON	L8P 4Y5
Manager, Parking Enforcement and School Safety	Planning & Economic Development	80 Main Street West	Hamilton, ON	L8P 1H6
Project Manager - Source Protection Planning	Public Works	77 James St. N., Suite 400	Hamilton, ON	L8R 2K3
Program Manager Public Art and Projects	Planning & Economic Development	2 - 28 James Street North	Hamilton, ON	L8R 2K1
Manager, Real Estate	Planning & Economic Development	6 - 71 Main St W	Hamilton ON	L8P 4Y5
Fire Chief	Hamilton Fire Department	1227 Stone Church Road East	Hamilton, ON	L8W 2C6
Director of Transit	Public Works	2200 Upper James Street	Mount Hope, ON	L0R 1W0
Senior Project Manager	Public Works	2201 Upper James Street	Mount Hope, ON	L0R 1W1
Senior Project Manager of Strategic Initiatives	Public Works	77 James St. N., Suite 400	Hamilton, ON	L8R 2K3
Senior Project Manager, Water & Wastewater Systems Planning	Public Works	77 James St. N., Suite 400	Hamilton, ON	L8R 2K3
Senior Project Manager	Planning and Economic Development	6 - 71 Main St W	Hamilton ON	L8P 4Y5
Manager of Development Planning, Heritage & Design	Planning and Economic Development	71 Main Street West, 5th Floor	Hamilton, ON	L8P 4Y5
Manager, Transportation Operations	Public Works	1375 Upper Ottawa st	Hamilton ON	L8W 3L5

<i>Job Title</i>	<i>Organization</i>	<i>Street Address</i>	<i>City and Province</i>	<i>Postal Code</i>
Commander in Charge	Hamilton Police Service			
Hertiage Projects Specialist	Planning & Economic Development	71 Main Street West, 5th Floor	Hamilton, ON	L8P 4Y5
Manager of Landscape Architectural Services	Public Works	77 James St. N., Suite 400	Hamilton, ON	L8R 3K3
Director, Hamilton Water	Public Works	77 James St. N., Suite 400	Hamilton, ON	L8R 2K3
Director, Woodward Upgrades	Public Works	77 James St. N., Suite 400	Hamilton, ON	L8H 6P4
Director, Recreation	Healthy and Safe Communities	28 James St. N. 3rd Floor	Hamilton, ON	L8R 2K2
Senior Project Manager; Urban Indigenous Strategy	Healthy and Safe Communities	25 James St. N. 5th Floor	Hamilton, ON	L8R 2K1
City Clerk	City Managers Office	71 Main Street West, 1st Floor	Hamilton, ON	L8P 4Y5
Director, Transportation Planning and Parking	Planning & Economic Development	77 James St. N., Suite 400	Hamilton, ON	L8R 2K3
Manager, Real Estate	Planning and Economic Development	71 Main Street West, 7th Floor	Hamilton, ON	L8P 4Y5
Natural Heritage Planner (Suburban)	Planning & Economic Development	71 Main Street W., 5th Floor	Hamilton, ON	L8P 4Y5
Manager of Engineering Approvals	Planning & Economic Development	71 Main Street West Floor: 5th Floor	Hamilton, ON	L8P 4Y5
Cultural Heritage Planner	Planning & Economic Development	72 Main Street West Floor: 5th Floor	Hamilton, ON	L8P 4Y6
Manager, Urban Renewal	Planning & Economic Development	71 Main Street West, 7th Floor	Hamilton, ON	L8P 4Y5
Director, Licensing and By-Law Services	Planning & Economic Development	77 James Street North, Suite 250	Hamilton, ON	L8R 2K3
Manager, Capital Delivery	Public Works	77 James St. N., Suite 400	Hamilton, ON	L8R 2K3
Project Manager	Public Works	77 James St. N., Suite 400	Hamilton ON	L8R 2K3
Director, Neighbourhood and Community Initiatives	Community & Emergency Services	28 James Street North, 5th Floor	Hamilton, ON	L8R 2K1
Manager - Plant Maintenance & Technical Services	Public Works	330 Wentworth Street North	Hamilton, ON	L8L 5W2
Director, Engineering Services	Public Works	77 James St. N., Suite 320	Hamilton, ON	L8R 2K3
Manager Parking Operations and Initiatives	Planning & Economic Development	77 James St N, Suite 400	Hamilton ON	L8R 2K3
General Manager	Public Works	77 James St. N., Suite 320	Hamilton, ON	L8R 2K3
Director of Financial Planning and Policy	Corporate Services	71 Main St W 1st Flr	Hamilton, ON	L8P 4Y5

<i>Job Title</i>	<i>Organization</i>	<i>Street Address</i>	<i>City and Province</i>	<i>Postal Code</i>
Manager, Transportation Planning	Planning & Economic Development	77 James St. N., Suite 400	Hamilton, ON	L8R 2K3
Director of Environmental Services	Public Works	77 James St. N., Suite 400	Hamilton, ON	L8R 2K3
Deputy Fire Chief	Healthy and Safe Communities	1227 Stone Church Road East	Hamilton, ON	L8W 2C6
Manager, Planning	Planning & Economic Development	5 - 71 Main Street West	Hamilton ON	L8P 4Y5
Manager, Infrastructure Planning	Planning & Economic Development	71 Main Street West, 7th Floor	Hamilton, ON	L8P 4Y5
Natural Heritage Planner (Rural)	Planning & Economic Development	71 Main St W 5th Flr	Hamilton, ON	L8P 4Y5
Manager of Water & Wastewater Systems Planning	Public Works	77 James Street North, Suite 400	Hamilton, ON	L8R 2K3
Manager, Transit Support Services	Public Works	2200 Upper James Street	Hamilton, ON	L0R 1C0
Senior Project Manager, Transportation Engineering	Public Works	703 Highway 8	Hamilton ON	L8W 3L5
Medical Officer of Health	Public Health Services	1 Hughson St. N., 4th Floor	Hamilton, ON	L8R 3L5
Director of Planning	Planning & Economic Development	71 Main Street West, 6th Floor	Hamilton, ON	L8P 4Y5
Cultural Heritage Planner	Planning & Economic Development	72 Main Street West Floor: 5th Floor	Hamilton, ON	L8P 4Y6
Project Manager - Capital Infrastructure Planning	Public Works	77 James St. N, Suite 320	Hamilton, ON	L8R 2K3
Director, Economic Development	Planning and Economic Development	71 Main Street West, 7th Floor	Hamilton, ON	L8P 4Y5
Senior Project Manager, Water & Wastewater Systems Planning	Public Works	77 James St. N., Suite 400	Hamilton, ON	L8R 2K3
Senior Director, Growth Management	Planning & Economic Development	71 Main St W 6th flr	Hamilton, ON	L8P 4Y5
City Manager	City Managers Office	71 Main Street West, 1st Floor	Hamilton, ON	L8P 4Y5
Manager, Recycling & Waste Disposal	Public Works	77 James Street North, Suite 400	Hamilton, ON	L8R 2K3
Director, Roads and Traffic	Public Works	77 James St. N., Suite 400	Hamilton, ON	L8R 2K3
Manager of Heritage Resource Management	Planning and Economic Development	28 James Street North, 2nd Floor	Hamilton, ON	L8R 2K1
General Manager	Planning & Economic Development	71 Main Street West, 7th Floor	Hamilton, ON	L8P 4Y5
Project Manager - Capital Infrastructure Planning	Public Works	77 James Street North, Suite 320	Hamilton ON	L8R 2K3
Manager of Transit Planning & Infrastructure	Transit (HSR)	2200 Upper James Street	Mount Hope, ON	L0R 1W0
Director, Water and Wastewater Operations	Public Works	330 Wentworth Street North	Hamilton, ON	L8L 5W2

<i>Job Title</i>	<i>Organization</i>	<i>Street Address</i>	<i>City and Province</i>	<i>Postal Code</i>
General Manager, Finance & Corporate Services	Corporate Services	71 Main Street West, 1st Floor	Hamilton, ON	L8P 4Y5
Councillors				
Councillor, Ward 9	City of Hamilton	71 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Councillor, Ward 5	City of Hamilton	71 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Councillor, Ward 8	City of Hamilton	71 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Mayor	City of Hamilton	71 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Councillor, Ward 2	City of Hamilton	71 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Councillor, Ward 12	City of Hamilton	71 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Councillor, Ward 6	City of Hamilton	71 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Councillor, Ward 11	City of Hamilton	71 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Councillor, Ward 4	City of Hamilton	71 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Councillor, Ward 3	City of Hamilton	71 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Councillor, Ward 15	City of Hamilton	72 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Councillor, Ward 7	City of Hamilton	73 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Councillor, Ward 10	City of Hamilton	74 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Councillor, Ward 13	City of Hamilton	75 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Councillor, Ward 14	City of Hamilton	76 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Councillor, Ward 1	City of Hamilton	76 Main Street West, 2nd Floor	Hamilton, ON	L8P 4Y5
Conservation Authorities etc.				
Supervisor, Development Reviews	Niagara Peninsula Conservation Authority	250 Thorold Rd. W. - 3rd Floor	Welland, ON	L3C 3W2
Watershed Planner	Niagara Peninsula Conservation Authority	250 Thorold Rd. W. - 3rd Floor	Welland, ON	L3C 3W2
Senior Strategic Advisor	Niagara Escarpment Commission	232 Guelph Street	Georgetown, ON	L7G 4B1
Director, Watershed Planning & Engineering	Hamilton Conservation Authority	838 Mineral Springs Road, Box 81067	Ancaster, ON	L9G 4X1
Senior Strategic Advisor	Niagara Escarpment Commission	232 Guelph Street	Georgetown, ON	L7G 4B1
Manager	Niagara Escarpment Commission	232 Guelph Street	Georgetown, ON	L7G 4B1

<i>Job Title</i>	<i>Organization</i>	<i>Street Address</i>	<i>City and Province</i>	<i>Postal Code</i>
Manager, Watershed Planning Services	Hamilton Conservation Authority	838 Mineral Springs Road, Box 81067	Ancaster, ON	L9G 4X1
Provincial Government				
Team Lead - Heritage	Ministry of Heritage Sport, Tourism and Culture Industries	1700 - 401 Bay Street	Toronto, ON	M7A 0A7
Manager, Growth Policy	Ministry of Municipal Affairs & Housing	2304 - 777 Bay Street	Toronto, ON	M5G 2E5
Director	Capital Program Branch Ministry of Education	19th Floor, Mowat Block, 900 Bay Street	Toronto, ON	M7A 1L2
Sr. Project Manager, Highway Corridor Management Section – Central Operations	Ministry of Transportation	7 - 159 Sir William Hearst Ave	Toronto, ON	M3M 0B7
Enviromental Facilities Coordinator	Ontario Provincial Police	2 - 777 Memorial Avenue	Orillia, ON	L3V 7V3
	Ministry of Agriculture and Food	1 Stone Rd. W., 2nd Floor	Guelph, ON	N1G 4Y2
Director, Land Use Planning	Infrastructure Ontario	2000 - 1 Dundas Street West	Toronto, ON	M5G 1Z3
Manager, Strategic Support Unit	Ministry of Energy	6 - 77 Grenville Street	Toronto, ON	M7A 1B3
E/A Project Co-ordination Section	Ministry of the Environment, Conservation & Parks	2 St. Clair Ave. W. 14th Floor	Toronto, ON	M4V 1L5
Manager	Ministry of Economic Development	7 - 900 Bay Street, Hearst Block	Toronto, ON	M7A 2E1
	Ontario Provincial Police, Burlington Detachment	1160 North Shore Blvd. E.	Burlington, ON	L7S1C5
Director, Sports and Community Programs Division	Ministry of Heritage, Sport, Tourism and Culture Industries	18 - 777 Bay Street	Toronto, ON	M7A 1S5
	Ministry of Transportation	1201 Wilson Ave., Bldg. D., 3rd Floor	Downsview, ON	M4V 1L5
Land Use and Water Technical Specialist	Ministry of Natural Resources	1 Stone Rd. W.	Guelph, ON	N1G 4Y2
Heritage Planner	Ministry of Tourism, Culture & Sport	401 Bay Street, 17th Floor	Toronto, ON	M7A 0A7
Senior Policy Advisor	Ministry of Economic Development	7 - 900 Bay Street, Hearst Block	Toronto, ON	M7A 2E1
Planner	Infrastructure Ontario	2000 - 1 Dundas Street West	Toronto, ON	M5G 1Z3
Administrator Research and Program Evaluation Unit	Ontario Provincial Police	1 - 777 Memorial Avenue	Orillia, ON	L3V 7V3
Manager, Community Planning and Development	Ministry of Municipal Affairs & Housing	13 - 777 Bay Street	Toronto, ON	M5G 2E5
Enviromental Specialist	Infrastructure Ontario	2000 - 1 Dundas Street West	Toronto, ON	M5G 1Z3
District Planner	Ministry of Natural Resources	1 Stone Rd. W.	Guelph, ON	N1G 4Y2

<i>Job Title</i>	<i>Organization</i>	<i>Street Address</i>	<i>City and Province</i>	<i>Postal Code</i>
Heritage Planner	Ministry of Tourism, Culture & Sport	1700 - 401 Bay Street	Toronto, ON	M7A 0A7
Enviromental Specialist	Infrastructure Ontario	2000 - 1 Dundas Street West	Toronto, ON	M5G 1Z3
Inititives Coordinator	Ministry of Energy	2 - 933 Ramsey Lake Road	Sudbury ON	P3E 6B5
Cabinet Liason and Strategic Policy Branch Coordinator	Ministry of Energy	6 - 77 Grenville Street	Toronto, ON	M7A 1B3
Manager	Niagara Escarpment Commission	232 Guelph Street	Georgetown, ON	L7G 4B1
District Business Coordinator, Guelph District Office	Ministry of Natural Resources and Forestry	1 Stone Rd. W.	Guelph, ON	N1G 4Y2
Manager, Enviromental Projects	Infrastructure Ontario	4 - 1 Stone Road West	Guelph, ON	N1G 4Y2
Environmental Assessment & Planning Co-ordinator	Ministry of the Environment, Conservation & Parks	119 King St. W., 12th Floor	Hamilton, ON	L8P 4Y7
Rural Planner	Ministry of Agriculture, Food & Rural Affairs	6484 Wellington Rd. 7, Unit 10	Elora, ON	N0B 1S0
Planner	Ministry of Municipal Affairs & Housing	777 Bay St., 13th Floor	Toronto, ON	M5G 2C8

Federal Government

	Indigenous and Northern Affairs Canada	300 Sparks Street, Room 205	Ottawa, ON	K1A 0H4
c/o Canadian Wildlife Services	Environment Canada		Ottawa, ON	K1A 0H3
Manager, Enviromental Assesment Section	Ontario Region Enviromental and Climate Change Canda	4905 Dufferin Street	Downsview ON	M3H 5T4
		300 Water Street	Peterborough, ON	K9J 8M4
	Industry Canada	151 Younge St - 4th Floor	Toronto, ON	M5C 2W7
Environment Officer-Environment Unit, Ontario Region	Lands and Trusts Services Env. Unit INAC	25 St. Clair Ave. E. 8th floor	Toronto, ON	M4T 1M2
Transport Canada Civil Aviation Regional Office	Transport Canada	4 - 4900 Yonge Street	North York, ON	M2N 6A5
Director, General Land and Environment Department	Indigenous and Northern Affairs Canada Land and Environment Department	10 Wellington St.	Gatineau, QC	K1A 0H4
Hamilton Port Authority		605 James St. N.	Hamilton, ON	L8L 1K1
Environmental Coordinator	Transport Canada	4900 Yonge Street, 4th Floor (PHE)	North York, ON	M2N 6A5
	Canadian Transportation Agency	15 Eddy Street	Hull, QC	K1A 0N9

<i>Job Title</i>	<i>Organization</i>	<i>Street Address</i>	<i>City and Province</i>	<i>Postal Code</i>
Indigenous Communities				
Metis Consultation Unit	Metis Nation of Ontario	500 Old St. Patrick Street Unit #3	Ottawa, ON	K1N 9G4
Consultant Supervisor	Six Nations Land and Resource Department, Land Use Unit	2498 Chiefswood Road PO Box 5000	Oshweken, ON	N0A 1M0
Lands & Resources	Six Nations Eco-Centre	1721 Chiefswood Road Iroquois Village Plaza Unit 109 PO Box 5000	N0A 1H0	N0A 1M0
Ministry of Indigenous Affairs	Ministry of Indigenous Affairs	9 - 160 Bloor Street East	Toronto, ON	M7A 2E6
Archaeological Operations Supervisor	Department of Consultation and Accommodation (DOCA) of the Mississaugas of the Credit First Nation	4065 Highway 6	Hagersville, ON	N0A 1H0
	Six Nations of the Grand River Territory	1695 Chiefswood Road P.O. Box 5000	Oshweken, ON	N0A 1M0
Haudenosaunee Development Institute	Haudenosaunee Confederacy Council	2634 6th Line Road RR #2	Oshweken, ON	N0A 1M0
	Mississaugas of the Credit First Nation	2789 Mississauga Road RR #6	Hagersville, ON	N0A 1H0
Project Coordinator (Ontario Based Inquiries)	Huron-Wendat Nation at Wendake	255 Place Chef Michel- Laveau	Wendake, QC	G0A 4V0
Manager, Department of Consultation and Accommodation	Mississaugas of the Credit First Nation	2789 Mississauga Road - RR #6	Hagersville, ON	N0A 1H0
Program Coordinator	Haudenosaunee Development Institute	16 Sunrise Court Suite 600 PO Box 714	Oshweken, ON	N0A 1M0
NGOs				
Chair	Glanbrook Conservation Committee	4251 Trinity Church Rd.	Hamilton, ON	L0R 1C0
Land Stewardship Coordinator	Bruce Trail Conservancy	PO Box 857	Hamilton, ON	L8N 3N9
	Environment Hamilton	22 Wilson Street, Unit 4	Hamilton, ON	L8R 1G7
Organizer	Citizens at City Hall (CATCH)			
President	Hamilton Wentworth Council of Home & School Associations			
Chair	Hamilton Community Foundation	120 King St. W., Suite 700	Hamilton, ON	L8P 4V2
Utilities				
Land Analyst, Urban	TransCanada Pipelines	450-1st Street S.W.	Calgary, AB	T2P 5H1
Senior Right-of-Way Agent	Enbridge Pipelines Inc.	1086 Modeland Road,	Sarnia, ON	N7S 6L2

<i>Job Title</i>	<i>Organization</i>	<i>Street Address</i>	<i>City and Province</i>	<i>Postal Code</i>
Manager, Utilities East Engineering Projects	Canadian Pacific Railway	1290 Central Parkway West, Suite 700	Mississauga, ON	L5C 4R3
	BellCanada	20 Hunter St. W.	Hamilton, ON	L8N 3H2
Construction Project Manager	Union Gas	918 South Service Road	Stoney Creek, ON	L8E 5M4
New Business Project Coordinator	Union Gas	918 South Service Road	Stoney Creek, ON	L8E 5M4
General Manager, Hamilton Community Energy	Hamilton Utilities Corporation	The Textile Building 10 George Street Suite 300	Hamilton, ON	L8P 1C8
Acting Manager of Capital Projects	Horizon Utilities Corporation	55 John St. N., 6th Floor	Hamilton, ON	L8R 3M8
	Sun Canadian Pipeline	830 Highway 6 North P.O. Box 470	Waterdown, ON	L0R 2H0
Planning Lead Hand Niagara/Hamilton	Cogeco Cable Inc	7170 McLeod Rd	Niagara Falls, ON	L2G 3H5
Planner/Designer	Source Cable	1090 Upper Wellington St	Hamilton, ON	L9A 3S6
Land Agent - Eastern Pipeline Operations	Imperial Oil Products & Chemical Division	100 - 5th Concession Rd. E.	Waterdown, ON	L0R 2H1
Crossings Co-ordinator, Eastern Region	Enbridge Pipelines Inc.	1086 Modeland Road, Building 1050	Sarnia, ON	N7S 6L2
		700 University Avenue	Toronto, ON	M5G 1X6
Senior Enviromental Specialist	Ontario Power Generation	700 University Avenue	Toronto, ON	M5G 1X6
Hydro One Real Estate Management	Hydro One	185 Clegg Road	Markham, ON	L6G 1B7
Institutions				
Manager of Engineering	Juravinski Hospital & Cancer Centre	711 Concession St.	Hamilton, ON	L8V 1C3
Assistant Vice-President & Chief Facilities Officer	McMaster University Facility Services	1280 Main Street West Campus Services Building, Room 102	Hamilton, ON	L8S 4M3
Director of Facilities	St. Joseph's Hospital	50 Charlton Ave. E.	Hamilton, ON	L8N 4A6
CEO of Hamilton Health Science	Hamilton Health Sciences	40 Wellington Street North	Hamilton, ON	L8R 1M8
President	St. Joseph's Hospital	50 Charlton Ave. E.	Hamilton, ON	L8N 4A6
Schools				
Chair	Hamilton-Wentworth District School Board	20 Education Court	Hamilton, ON	L9A 0B9
Hamilton District Catholic School Baord	90 Mulberry Street	P.O. Box 2012	Hamilton, ON	L8N 3R9
Hamilton District Catholic School Baord	90 Mulberry Street	P.O. Box 2012	Hamilton, ON	L8N 3R9
Accommodation & Planning	Hamilton-Wentworth District School Board	100 Main St. W. P.O. Box 2558	Hamilton, ON	L8N 3L1
President	Mohawk College	135 Fennell Avenue West Hamilton, ON, L9C 0E5	Hamilton, ON	L8N 3T2
	French Public School Board	116 Cornelius Parkway	Toronto, ON	M6L 2K5

<i>Job Title</i>	<i>Organization</i>	<i>Street Address</i>	<i>City and Province</i>	<i>Postal Code</i>
	French Catholic School Board	110 Drewry Avenue	North York, ON	M2M 1c8

Transportation Specific Agencies

Executive Director	Southern Ontario Gateway Council	140 King Street East, Suite 14	Hamilton, ON	L8N 1B2
Acting Director of Service Planning	Metrolinx	97 Front Street West, 4th Floor	Toronto, ON	M5J 1E6
President	Zipcar	129 Spadina Avenue	Toronto, ON	M5V 2L3
Manager, Contract and Lease Management	Hamilton International Airport	9300 Airport Road, #2206	Mount Hope, ON	L0R 1W0
Chairman & CEO	Hamilton Cab	430 Cannon Street East	Hamilton, ON	L8L 2C8
President & Chief Executive Officer	Greyhound	36 Hunter Street East	Hamilton, ON	I8N 3W8
President & CEO	Hamilton International Airport	9300 Airport Road, #2206	Mount Hope, ON	L0R 1W0
President	Blue Line Taxi	Mount Hope ON L0R 1W0	Hamilton, ON	L8N 2C4
Director, Environmental Programs and Assessment	Metrolinx	10 Bay Street	Toronto, ON	M5J 2W3
Coordinator, Administration	Hamilton International Airport	9300 Airport Road, #2206	Mount Hope, ON	L0R 1W0
Manager, Strategic Strategy and Policy	Metrolinx	97 Front St W, 4th Floor	Toronto, ON	M5J 1E6
Chairman	Ontario Trucking Association	555 Dixon Road	Toronto, ON	M9W 1H8
	Canada Coach	P.O. Box 4017 Station Main	Peterborough, ON	K9J 7B1
	Community CarShare	175 Longwood Road South, Suite 304A	Hamilton, ON	L8P 0A1
	Hamilton Cycling Committee			
Manager of Airport Planning	John C. Munro Hamilton International Airport	9300 Airport Road, Suite 2206	Mount Hope, ON	L0R 1W0
	Smart Commute Hamilton			
Senior Manager, Asset Management and Planning	Hamilton International Airport	9300 Airport Road, #2206	Mount Hope, ON	L0R 1W0

Other

President & CEO	Hamilton Chamber of Commerce	120 King St. West Suite 507, Plaza Level	Hamilton, ON	L8P 4V2
Manager, Government & External Relations	REALTORS Association of Hamilton-Burlington	505 York Blvd.	Hamilton, ON	L8R 3K4
President	Hamilton-Halton Home Builders Association	1112 Rymal Road East	Hamilton, ON	L8W 3N7



City of Hamilton
City Hall, 71 Main Street West
Hamilton, Ontario
Canada L8P 4Y5
www.hamilton.ca

Growth Management Division, Planning and Economic Development Department
Physical Address: 71 Main Street West, 6th Floor
Phone: 905.546.2424 Fax: 905.540.5611
Email: iplanning@hamilton.ca

Hamilton

July 7, 2021

[REDACTED]
Haudenosaunee Development Institute
Haudenosaunee Confederacy Council
2634 6th Line Road
RR #2
Oshweken, ON

Dear Chief McNaughton:

Subject: AEGD TMP Update – Notice of Commencement and Public Information Centre (PIC) No. 1 Follow up

We trust that you have received a Notice of Commencement and Public Information Centre No. 1 informing you of the initiation of a Municipal Class Environmental Assessment (MCEA) for the Airport Employment Growth District Transportation Master Plan (TMP) Update. This MCEA study will be fulfilling Phases 1 and 2 for projects which are confirmed from previously approved TMPs for this area, but any new or changed road locations are strategic only, and will fulfill Phase 1 of the MCEA process, for Schedule “B” and “C” projects.

This letter is being sent to inform you that Stage 1 Archaeology Report has been completed for the study area as part of the previously completed the AEGD Secondary Plan. It recommends Stage 2 Archaeology studies within the study area and this recommendation will be carried forward to subsequent studies and planning applications within the AEGD Lands.

A copy of the Stage 1 Archaeology Report can be found at the following location:

<https://www.hamilton.ca/sites/default/files/media/browser/2021-07-07/arch-stage-1-report-p049-230-2007.pdf>

Similarly, we have relied on the Natural Heritage findings and mapping from the previously completed AEGD Secondary Plan, to guide our network evaluation and placement decisions. No field work has been completed to update this information during our study, however we will be recommending that subsequent studies and development planning applications carry out this field work to fine tune the location of the proposed widenings and new road locations.

We are reaching out to you in case you have any questions or comments that you wish to share with the study team at this time, to ask if you wish to meet to discuss any of the above and if additional time to comment is required. Please note that the project information presented at the PIC, including presentation video recording can be found at the following website: <https://engage.hamilton.ca/aegd-tmp>.

Please do not hesitate to contact the undersigned at omar.shams@hamilton.ca or margaret.fazio@hamilton.ca or at the below phone numbers.

On behalf of the Project Team, thank you in advance for your interest and potential involvement in this study.

Sincerely,

A handwritten signature in black ink, appearing to read 'MFE'.

Margaret Fazio. B.Sc., E.P., RPP, MCIP
Senior Project Manager, Infrastructure Planning,
Planning and Development Department, City of Hamilton, Tel: 905-546-2424 Ext.2218

Omar Shams
Project Manager, Transportation Planning
Planning and Development Department, City of Hamilton, Tel: 905-546-2424 Ext.7474

cc. [REDACTED], HDI
[REDACTED] HDI

Holden, Gina

From: Fazio, Margaret
Sent: Friday, July 9, 2021 1:40 PM
To: [REDACTED]
Cc: [REDACTED] Shams, Omar
Subject: RE: City of Hamilton's Airport Employment Growth District Transportation Master Plan Update - notice of Study Commencement and Public Information Centre No. 1 follow up

Good afternoon [REDACTED],

It was great to talk to you today.

We will record your interest in being involved in future studies in our Project Study Report. Looking forward to any question or comments you may have on the Archaeology Stage 1 Report.

Thank you,
Margaret (and Omar)

Margaret Fazio, B.Sc., EP, MCIP, RPP

Senior Project Manager, Infrastructure Planning

Growth Management, Planning and Economic Development Department

City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca

DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.



From: [REDACTED]
Sent: July 9, 2021 3:50 PM
To: Fazio, Margaret <Margaret.Fazio@hamilton.ca>
Cc: [REDACTED]

Subject: Fwd: City of Hamilton's Airport Employment Growth District Transportation Master Plan Update - notice of Study Commencement and Public Information Centre No. 1 follow up

Good Afternoon Margaret,

This is Raechelle Wiliams from Haudenosaunee Development Institute (HDI), I am currently taking over Karl Hill's position as the Environmental Supervisor with HDI. The environmental division is interested in being involved in the study and taking part in any natural fieldwork. As you mentioned over the phone this would be more so in Phase 2, 3 and 4,

I have also copied Wayne Hill in this email regarding any archaeological work that will be involved in the project as well.

Nya:weh/Thank-You,

[REDACTED]
HDI Environmental Supervisor
[REDACTED]

----- Forwarded message -----

From: [REDACTED]
Date: Thu, Jul 8, 2021 at 6:28 AM
Subject: Fwd: City of Hamilton's Airport Employment Growth District Transportation Master Plan Update - notice of Study Commencement and Public Information Centre No. 1 follow up
To: [REDACTED]

----- Forwarded message -----

From: **Fazio, Margaret** <Margaret.Fazio@hamilton.ca>
Date: Wed., Jul. 7, 2021, 5:08 p.m.
Subject: City of Hamilton's Airport Employment Growth District Transportation Master Plan Update - notice of Study Commencement and Public Information Centre No. 1 follow up
To: [REDACTED]
Cc: [REDACTED] Shams, Omar <Omar.Shams@hamilton.ca>

Good afternoon [REDACTED]

We are writing to you to follow up on the City of Hamilton's Airport Employment Growth District Transportation Master Plan Update's Notice of Study Commencement and Public Information Centre No. 1, as per the attached letter.

Should you have any questions, please do not hesitate to reach out.

Warm regards,

Omar Shams and

Margaret Fazio, B.Sc., EP, MCIP, RPP

Senior Project Manager, Infrastructure Planning

Growth Management, Planning and Economic Development Department

City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca

DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.

Holden, Gina

From: Fazio, Margaret
Sent: Monday, October 24, 2022 12:39 PM
To: [REDACTED]
Cc: Shams, Omar; [REDACTED] DiDomenico, Jennifer
Subject: AEGD Transportation Master Plan (Update): Proposed Industrial Road Cross-sections - Request for comments by October 28, 2022.
Attachments: FINAL NOTICE OF UPDATE to INDUSTRIAL AEGD CROSS-SECTIONS.pdf

Hello [REDACTED]

*Please find attached the Notice with link to proposed Conceptual **Industrial Road Cross-Sections** for the Airport Employment Growth District (AEGD) Transportation Master Plan (TMP) Update for Collector and Arterial roadways.*

*Establishing the basic elements and dimensioning of the collector and arterial road system is an important step in the master plan process that will inform the development of standardized cross-sections to be implemented as development of the business park proceeds. The purpose of circulating these to the **Haudenosaunee Development Institute (HDI) for the Haudenosaunee Confederacy of Chiefs Council (HCCC)** is to solicit input including consideration of potential changes that would form part of the approved TMP Update.*

Note that approval of the TMP satisfies Phase 1 and 2 of the Municipal Class Environmental Assessment process. As such, all proposed TMP collector and arterial roadways will still require additional study to satisfy Phases 3 and 4 of the process.

Please provide comments or questions by October 28, 2022 to the undersigned, if possible. Please also advise if you wish to meet to discuss.

Thank you,

Omar Shams

Project Manager, Transportation Planning
Transportation Planning and Parking
Planning and Economic Development Department
City of Hamilton
E-mail: Transport@hamilton.ca
Tel: 905-546-2424 Ext. 7474

Margaret Fazio, B.Sc., EP, MCIP, RPP

(She/her)

Senior Project Manager, Infrastructure Planning
Growth Management, Planning and Economic Development Department
City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5
Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca

The City of Hamilton encourages physical distancing, wearing a mask in an enclosed public space, and increased handwashing. Learn more about the City's response to COVID-19 www.hamilton.ca/coronavirus.



Holden, Gina

From: Fazio, Margaret
Sent: June 4, 2021 11:26 AM
To: [REDACTED]
Cc: Shams, Omar; [REDACTED]
Subject: Follow up on Notices of PIC sent re City of Hamilton's AEGD TMP Update and Barton and Fifty Road EA

Hello,

We trust that this message finds you well and that you are the correct contacts when following up on mail outs/contacting the Huron Wendat First nation at Wendake (Grand Chief [REDACTED])

We are reaching out to you on two projects in the City of Hamilton (one is new and one with a long break since last contact).

I left a long bilingual voice mail with you, [REDACTED], this morning asking for any comments/feedback and contact, if desired.

Apologies – I forgot that French may be preferred and had to think on my feet with my rusty French, followed by English...

We are leading two projects which are following the Municipal Class Environmental Assessment (EA) process in Ontario, as follows:

1. Airport Employment Growth District (AEGD) Transportation Master Plan, which is fulfilling Phases 1 & 2 of the EA process.
2. Barton and Fifty Road EA – Phases 3 & 4 of the EA process, and the CN Rail crossing on Fifty Road which is fulfilling Phases 1 & 2 of the EA process.

RE No. 1, the AEGD TMP Notice of study Commencement and PIC was issued a few weeks ago and are hoping that if you have any questions or comments for us, you would let us know, please.

- Please note that Archaeology Stage 1 has been completed for this study area and recommends Stage 2, which will be carried out as part of subsequent studies (typically done during detailed design when staging of construction and precise impacts are known, not the EA process).
- No Natural Heritage field work or Archaeology field work was completed as part of this study, both of which will be recommended for subsequent stages of studies/development.
- If you are interested in reviewing the PIC materials please following the link:
<https://engage.hamilton.ca/aeqd-tmp>.

RE No. 2 Barton and Fifty Road EA we are sending Notices of PIC now – e-mails have gone out today and hard copy mail is on its way.

This is not a new project, however, it's been a few years since we have started, and wanted to reach out to you again.

- Please note that the Stage 1 Archaeology Report has been completed for this study area, and recommends Stage 2, which will be recommended/carried out, as per above, during detailed design stage.

- The PIC with is coming on June 17, 2021 with recommended alternatives that are the result of field work analysis and evaluation. It will also be recorded, and you can find any relevant materials, including a PIC presentation recording after the event, here: <https://engage.hamilton.ca/bartonfiftyea>
- Natural Heritage field work has been completed for this study and a Natural Heritage Draft Report is available for review, if desired.

Please let us know if you have any questions or comments on any of the above.

Thank you,

Margaret Fazio, B.Sc., EP, MCIP, RPP

Senior Project Manager, Infrastructure Planning

Growth Management, Planning and Economic Development Department

City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca

DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.





City of Hamilton
City Hall, 71 Main Street West
Hamilton, Ontario
Canada L8P 4Y5
www.hamilton.ca

Growth Management Division, Planning and Economic Development Department
Physical Address: 71 Main Street West, 6th Floor
Phone: 905.546.2424 Fax: 905.540.5611
Email: iplanning@hamilton.ca

Hamilton

July 7, 2021

[REDACTED]
Mississaugas of the Credit First Nation
2789 Mississauga Road
RR #6
Hagersville, ON

Dear [REDACTED]

Subject: AEGD TMP Update – Notice of Commencement and Public Information Centre (PIC) No. 1 Follow up

We trust that you have received a Notice of Commencement and Public Information Centre No. 1 informing you of the initiation of a Municipal Class Environmental Assessment (MCEA) for the Airport Employment Growth District Transportation Master Plan (TMP) Update. This MCEA study will be fulfilling Phases 1 and 2 for projects which are confirmed from previously approved TMPs for this area, but any new or changed road locations are strategic only, and will fulfill Phase 1 of the MCEA process, for Schedule "B" and "C" projects.

This letter is being sent to inform you that Stage 1 Archaeology Report has been completed for the study area as part of the previously completed the AEGD Secondary Plan. It recommends Stage 2 Archaeology studies within the study area and this recommendation will be carried forward to subsequent studies and planning applications within the AEGD Lands.

A copy of the Stage 1 Archaeology Report can be found at the following location:
<https://www.hamilton.ca/sites/default/files/media/browser/2021-07-07/arch-stage-1-report-p049-230-2007.pdf>

Similarly, we have relied on the Natural Heritage findings and mapping from the previously completed AEGD Secondary Plan, to guide our network evaluation and placement decisions. No field work has been completed to update this information during our study, however we will be recommending that subsequent studies and development planning applications carry out this field work to fine tune the location of the proposed widenings and new road locations.

We are reaching out to you in case you have any questions or comments that you wish to share with the study team at this time, to ask if you wish to meet to discuss any of the above and if additional time to comment is required. Please note that the project information presented at the PIC, including presentation video recording can be found at the following website: <https://engage.hamilton.ca/aegd-tmp>.

Please do not hesitate to contact the undersigned at omar.shams@hamilton.ca or margaret.fazio@hamilton.ca or at the below phone numbers.

On behalf of the Project Team, thank you in advance for your interest and potential involvement in this study.

Sincerely,

A handwritten signature in black ink, appearing to read 'MFE'.

Margaret Fazio. B.Sc., E.P., RPP, MCIP
Senior Project Manager, Infrastructure Planning,
Planning and Development Department, City of Hamilton, Tel: 905-546-2424 Ext.2218

Omar Shams
Project Manager, Transportation Planning
Planning and Development Department, City of Hamilton, Tel: 905-546-2424 Ext.7474

cc. [REDACTED] MCFN
[REDACTED] MCFN

From: [Fazio, Margaret](#)
To: [REDACTED]; [Shams, Omar](#)
Subject: City of Hamilton Airport Employment Growth District Transportation Master Plan Update - Notice of Study Commencement and Public Information Centre #1
Date: July 7, 2021 5:00:00 PM
Attachments: [image001.jpg](#)
[2021-07-07 -CoH_MCFN - AEGD TMP Update - signed.pdf](#)

Good afternoon [REDACTED],

We are writing to you to follow up on the City of Hamilton's Airport Employment Growth District Transportation Master Plan Update's Notice of Study Commencement and Public Information Centre No. 1, as per the attached letter.

Should you have any questions, please do not hesitate to reach out.

Warm regards,

Omar Shams and

Margaret Fazio, B.Sc., EP, MCIP, RPP

Senior Project Manager, Infrastructure Planning

Growth Management, Planning and Economic Development Department

City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail:

Margaret.Fazio@hamilton.ca

DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.



Holden, Gina

From: Fazio, Margaret
Sent: Monday, October 24, 2022 12:59 PM
To: [REDACTED]
Cc: Shams, Omar; [REDACTED]; DiDomenico, Jennifer
Subject: AEGD Transportation Master Plan (Update): Proposed Industrial Road Cross-sections - Request for comments by October 28, 2022.
Attachments: FINAL NOTICE OF UPDATE to INDUSTRIAL AEGD CROSS-SECTIONS.pdf

Hello,

We understand from our previous conversations that Municipal Class Environmental Assessment consultation inquiries should be addressed to the Mississaugas of the Credit First Nation via the above two email addresses. Please confirm receipt, and contact name for this particular project, if possible.

Please note that the conceptual roadway cross-sections and corresponding Right of Way widths in question have been previously approved during the 2011 Hamilton's Airport Employment Growth District (AEGD) Transportation Master Plan (TMP) process. We last contacted your Nation on the occasion of the Public Information Centre in June 2021 for the ongoing AEGD TMP Update, when industrial cross-sections were first re-introduced.

*Please find attached the Notice with link to proposed **Industrial Road Cross-Sections** for the AEGD TMP Update for Collector and Arterial roadways.*

*Establishing the basic elements and dimensioning of the collector and arterial road system is an important step in the master plan process that will inform the development of standardized cross-sections to be implemented as development of the business park proceeds. The purpose of circulating these to the **Mississaugas of the Credit First Nation** is to solicit input including consideration of potential changes that would form part of the approved TMP Update.*

Note approval of the TMP satisfies Phase 1 and 2 of the Municipal Class Environmental Assessment process. As such, all proposed TMP collector and arterial roadways will still require additional study to satisfy Phases 3 and 4 of the process.

Please provide comments or questions by October 28, 2022 to the undersigned, if possible. Please also advise if you wish to meet to discuss.

Thank you,

Omar Shams

Project Manager, Transportation Planning
Transportation Planning and Parking
Planning and Economic Development Department
City of Hamilton
E-mail: Transport@hamilton.ca
Tel: 905-546-2424 Ext. 7474

Margaret Fazio, B.Sc., EP, MCIP, RPP

(She/her)

Senior Project Manager, Infrastructure Planning

Growth Management, Planning and Economic Development Department

City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca

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City of Hamilton
City Hall, 71 Main Street West
Hamilton, Ontario
Canada L8P 4Y5
www.hamilton.ca

Growth Management Division, Planning and Economic Development Department
Physical Address: 71 Main Street West, 6th Floor
Phone: 905.546.2424 Ext. 2218 Fax: 905.540.5611
Email: margaret.fazio@hamilton.ca

Hamilton

MNO Council and Regional Consultation Committee
Metis Nation of Ontario
Metis Consultation Unit
500 Old St. Patrick Street, Unit #3
Ottawa, ON
K1N 9G4
Sent Via email: consultations@metisnation.org

October 19, 2021

**Subject: Airport Employment Growth District Transportation Master Plan Update -
Phases 1 and 2 Municipal Class Environmental Assessment (EA).**

We trust that you have received a Notice of Commencement and Public Information Centre No. 1 informing you of the initiation of a Municipal Class Environmental Assessment (MCEA) for the Airport Employment Growth District Transportation Master Plan (TMP) Update. This MCEA study will be fulfilling Phases 1 and 2 for projects which are confirmed from previously approved TMPs for this area, but any new or changed road locations are strategic only, and will fulfill Phase 1 of the MCEA process, for Schedule "B" and "C" projects.

This letter is being sent to you to inform you that Stage 1 Archaeology Report has been completed for the study area as part of the previously completed the AEGD Secondary Plan. It recommends Stage 2 Archaeology studies within the study area and this recommendation will be carried forward to subsequent studies and planning applications within the AEGD Lands.

A copy of the Stage 1 Archaeology Report can be found at the following location:

<https://www.hamilton.ca/sites/default/files/media/browser/2021-07-07/arch-stage-1-report-p049-230-2007.pdf>

Similarly, we have relied on the Natural Heritage findings and mapping from the previously completed AEGD Secondary Plan, to guide our network evaluation and placement decisions. No field work has been completed to update this information during our study, however we will be recommending that subsequent studies and development planning applications carry out this field work to fine tune the location of the proposed widenings and new road locations.

We are reaching out to you in case you have any questions or comments that you wish to share with the study team at this time, to ask if you wish to meet to discuss any of the above and if additional time to comment is required. Please note that the project information presented at the PIC, including presentation video recording can be found at the following website: <https://engage.hamilton.ca/aegd-tmp>.

Please do not hesitate to contact the undersigned at omar.shams@hamilton.ca or margaret.fazio@hamilton.ca or at the below phone numbers.

On behalf of the Project Team, thank you in advance for your interest and potential involvement in this study.

Sincerely,



Margaret Fazio. B.Sc., E.P., RPP, MCIP
Senior Project Manager, Infrastructure Planning,
Planning and Development Department, City of Hamilton, Tel: 905-546-2424 Ext.2218

Omar Shams
Project Manager, Transportation Planning
Planning and Development Department, City of Hamilton, Tel: 905-546-2424 Ext.7474

cc.


Branch Coordinator | Climate Change Advisor
Lands, Resources & Consultations Branch
Métis Nation of Ontario


Holden, Gina

From: Fazio, Margaret
Sent: October 19, 2021 5:07 PM
To: [REDACTED]
Cc: Shams, Omar
Subject: RE: City of Hamilton Airport Employment Growth District Transportation Master Plan Update - Follow up re PIC #1
Attachments: 2021-10- 19 - Metis Nation of Ontario - AEGD TMP Update - PIC#1 Follow up - signed.pdf; Notice-of-Commencement-PIC-To publish.pdf

Hello [REDACTED],

As promised, please find attached the follow up letter to the attached Notice of Commencement and Public Information Centre No. 1, sent originally to the following addresses in May 2021, via hard copy and email (sent from Trish.Lloyd@hamilton.ca):

Metis Consultation Unit
Metis Nation of Ontario
500 Old St. Patrick Street Unit #3
Ottawa, ON K1N 9G4

Consultations@metisnation.org

Please let us know if you have any questions or comments.

Miigwech, Thank you!

Margaret Fazio, B.Sc., EP, MCIP, RPP
(She/her)

Senior Project Manager, Infrastructure Planning
Growth Management, Planning and Economic Development Department
City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5
Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca

DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.



From: Fazio, Margaret
Sent: October 8, 2021 4:54 PM
To: [REDACTED]
Cc: Shams, Omar <Omar.Shams@hamilton.ca>
Subject: RE: City of Hamilton Airport Employment Growth District Transportation Master Plan Update - Follow up re PIC #1

Thank you, [REDACTED],
We'll respond with a letter.
Happy Thanksgiving.

Miigwech and Thank you!:)

Margaret

From: [REDACTED]
Sent: October 8, 2021 11:55 AM
To: Fazio, Margaret <Margaret.Fazio@hamilton.ca>
Cc: Shams, Omar <Omar.Shams@hamilton.ca>
Subject: RE: City of Hamilton Airport Employment Growth District Transportation Master Plan Update - Follow up re PIC #1

Hello,

Thank you for your email. If you are interested in engaging with the Métis community to build a relationship or to gather input, please send a notice or letter describing your proposal for a meeting or engagement to consultations@metisnation.org. Can you confirm if an email has been sent to this inbox?

MNO's Lands, Resources and Consultations staff check this email regularly and will forward the notification to the appropriate MNO Staff person or Regional Consultation Committee for their consideration. Due to the number of notifications that the MNO receives, we do not respond to all notifications. However, if the MNO wants to have a meeting with you, we will contact you. Thank you again for reaching out and have a great Thanksgiving weekend!

Marsee, Miigwech, Thank you!

[REDACTED]
Branch Coordinator | Climate Change Advisor
Lands, Resources & Consultations Branch
Métis Nation of Ontario

[REDACTED]
W: www.metisnation.org



NOTICE: MNO employees in client-facing programs will resume in-person client services starting August 9, 2021. Client services may be by appointment, or drop-in. Please consult your local MNO office for a list of offered services.

Please visit [COVID-19 Support Programs - Métis Nation of Ontario \(metisnation.org\)](https://www.metisnation.org) for available supports and programs.

If you have COVID-19 related concerns or need help accessing support, please contact us by phone at 1-800-263-4889 or by email at covidhelp@metisnation.org.

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Please consider the environment before printing this e-mail.

From: Fazio, Margaret <Margaret.Fazio@hamilton.ca>
Sent: October-08-21 9:31 AM
To: [REDACTED]
Cc: Shams, Omar <Omar.Shams@hamilton.ca>

Subject: FW: City of Hamilton Airport Employment Growth District Transportation Master Plan Update - Follow up re PIC #1

Hello [REDACTED]

As per [REDACTED]'s direction below, please note our original email message at the bottom of this email chain.

Please let us know if you have any questions or comments on this topic.

Thank you,
Margaret

Margaret Fazio, B.Sc., EP, MCIP, RPP

(She/her)

Senior Project Manager, Infrastructure Planning

Growth Management, Planning and Economic Development Department

City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca

DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.



From: [REDACTED]

Sent: October 8, 2021 9:28 AM

To: Fazio, Margaret <Margaret.Fazio@hamilton.ca>; Consultations <Consultations@metisnation.org>

Cc: Shams, Omar <Omar.Shams@hamilton.ca>; [REDACTED]
[REDACTED]

Subject: RE: City of Hamilton Airport Employment Growth District Transportation Master Plan Update - Follow up re PIC #1

Thank you for this notification, Ms. Fazio.

The correct email address for notifications such as these is consultations@metisnation.org. This is the best address for MNO Lands, Resources and Consultations branch, as we experience staff turn-over on occasion and messages coming in to this email address are monitored and distributed to the appropriate consultation committee members.

Please remove both my name and [REDACTED] name from your contact list.

If you would like to follow up with an MNO staff person, please contact [REDACTED] at [REDACTED]

Kind regards,

[REDACTED]
Director
Lands, Resources and Consultations
Métis Nation of Ontario
311-75 Sherbourne St.
Toronto, ON M5A 2P9
[REDACTED]

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Please visit [COVID-19 Support Programs - Métis Nation of Ontario \(metisnation.org\)](https://www.metisnation.org) for available supports and programs. If you have COVID-19 related concerns or need help accessing support, please contact us by phone at 1-800-263-4889 or by email at covidhelp@metisnation.org.

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Please consider the environment before printing this e-mail.

From: Fazio, Margaret [<mailto:Margaret.Fazio@hamilton.ca>]

Sent: October 7, 2021 5:23 PM

To: [REDACTED] Consultations <Consultations@metisnation.org>

Cc: Shams, Omar <Omar.Shams@hamilton.ca>; [REDACTED]

Subject: City of Hamilton Airport Employment Growth District Transportation Master Plan Update - Follow up re PIC #1

Hello [REDACTED]

We are City of Hamilton staff reaching out to you to follow up on the City of Hamilton's Airport Employment Growth District Transportation Master Plan (AEGD TMP) Update.

We have sent a Notice of Public Information Centre (PIC) #1 to you in May/June, to the following email: [REDACTED]. We understand that you are now the main contact for the Metis Nation of Ontario. Could you please confirm our understanding and that you are the correct person to address on this matter?

We have not received a response from the Metis Nation of Ontario on this project to date and wanted to ask if you had any questions or concerns with what is being proposed, before we finalize the next stage of the process – writing of the Project File Report.

We invite you to see the information on our project, which was presented at the above mentioned virtual PIC, accessible at the following website: <https://engage.hamilton.ca/aegd-tmp>

Points which may be of particular interest are:

1. We have utilized the Archaeology Stage 1 originally completed for the AEGD Secondary Plan (2011). That report link can be accessed here: <https://www.hamilton.ca/sites/default/files/media/browser/2021-07-07/arch-stage-1-report-p049-230-2007.pdf>. No further Archaeology field work was carried out as part of our process, but we will be recommending that any such works will be carried out during subsequent studies or detailed design process.
2. The Natural Heritage Inventory update has not been completed for this project as this Master Plan update is based on previously identified natural heritage features and is strategic in nature. It is our recommendation that subsequent studies implementing the road network will undertake any necessary field work to update the existing mapping.

Please let us know if you have any questions or comments and/or if you wish to discuss any of the above.

Many Thanks,

**Omar Shams, Project Manager, Transportation Planning Division
and Margaret Fazio, B.Sc., EP, MCIP, RPP**

(She/her)

Senior Project Manager, Infrastructure Planning

Growth Management, Planning and Economic Development Department

City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca

DURING COVID, I am working remotely and can also be reached via Jabber, WebEx and Microsoft Teams.



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From: [Fazio, Margaret](#)
To: [REDACTED]
Cc: [Shams, Omar](#); [REDACTED]
Subject: AEGD Transportation Master Plan (Update): Proposed Industrial Road Cross-sections - Request for comments by October 28, 2022.
Date: October 24, 2022 12:17:00 PM
Attachments: [image001.jpg](#)
[FINAL NOTICE OF UPDATE to INDUSTRIAL AEGD CROSS-SECTIONS.pdf](#)

Hello [REDACTED]

*Please find attached the Notice with link to proposed **Industrial Road Cross-Sections** for the Airport Employment Growth District (AEGD) Transportation Master Plan (TMP) Update for Collector and Arterial roadways.*

*Establishing the basic elements and dimensioning of the collector and arterial road system is an important step in the master plan process that will inform the development of standardized cross-sections to be implemented as development of the business park proceeds. The purpose of circulating these to the **Métis Nation of Ontario** is to solicit input including consideration of potential changes that would form part of the approved TMP Update.*

Note approval of the TMP satisfies Phase 1 and 2 of the Municipal Class Environmental Assessment process. As such, all proposed TMP collector and arterial roadways will still require additional study to satisfy Phases 3 and 4 of the process.

Please provide comments or questions by October 28, 2022 to the undersigned, if possible. Please also advise if you wish to meet to discuss.

Thank you,

Omar Shams

Project Manager, Transportation Planning
Transportation Planning and Parking
Planning and Economic Development Department
City of Hamilton
E-mail: Transport@hamilton.ca
Tel: 905-546-2424 Ext. 7474

Margaret Fazio, B.Sc., EP, MCIP, RPP

(She/her)

Senior Project Manager, Infrastructure Planning
Growth Management, Planning and Economic Development Department
City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5
Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail:
Margaret.Fazio@hamilton.ca

-
The City of Hamilton encourages physical distancing, wearing a mask in an enclosed public space, and increased handwashing. Learn more about the City's response to

COVID-19 www.hamilton.ca/coronavirus



From: [REDACTED]
To: [Fazio, Margaret](#)
Cc: [Shams, Omar](#); [REDACTED]
Subject: RE: AEGD Transportation Master Plan (Update): Proposed Industrial Road Cross-sections - Request for comments by October 28, 2022.
Date: Monday, December 5, 2022 11:30:32 AM
Attachments: [image001.jpg](#)

Good Morning Margaret,

It was great to speak to you this morning. I have included [REDACTED] in this correspondence for next steps in conversations.

Kind Regards,

[REDACTED]

From: Fazio, Margaret <Margaret.Fazio@hamilton.ca>

Sent: October 24, 2022 3:54 PM

To: [REDACTED]

Cc: Shams, Omar <Omar.Shams@hamilton.ca>; [REDACTED]
[REDACTED]
[REDACTED]

Subject: AEGD Transportation Master Plan (Update): Proposed Industrial Road Cross-sections - Request for comments by October 28, 2022.

Hello [REDACTED] et al,

*Please find attached the Notice with link to proposed Conceptual **Industrial Road Cross-Sections** for the Airport Employment Growth District (AEGD) Transportation Master Plan (TMP) Update for Collector and Arterial roadways.*

The cross-sections were originally approved by Council of City of Hamilton in 2011, and revisited and presented during the current AEGD TMP Update during our virtual Public Information Centre in June 2021, but have since been fine tuned. Please see the link to the original PIC contents here, for your reference: electronic Pg. 19 of the presentation: <https://www.hamilton.ca/sites/default/files/2022-08/tmp-aegd-pic1-presentation.pdf>

*Establishing the basic elements and dimensioning of the collector and arterial road system is an important step in the master plan process that will inform the development of standardized cross-sections to be implemented as development of the business park proceeds. The purpose of circulating these to the **Six Nations***

Land and Resources Department, Six Nations of the Grand River Elected Council (SNEC) is to solicit input including consideration of potential changes that would form part of the approved TMP Update.

Note approval of the TMP satisfies Phase 1 and 2 of the Municipal Class Environmental Assessment process. As such, all proposed TMP collector and arterial roadways will still require additional study to satisfy Phases 3 and 4 of the process.

Please provide comments or questions by October 28, 2022 to the undersigned, if possible. Please also advise if you wish to meet to discuss.

Thank you,

Omar Shams

Project Manager, Transportation Planning
Transportation Planning and Parking
Planning and Economic Development Department
City of Hamilton
E-mail: Transport@hamilton.ca
Tel: 905-546-2424 Ext. 7474

Margaret Fazio, B.Sc., EP, MCIP, RPP

(She/her)

Senior Project Manager, Infrastructure Planning
Growth Management, Planning and Economic Development Department
City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5
Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail:
Margaret.Fazio@hamilton.ca

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Holden, Gina

From: Fazio, Margaret
Sent: October 24, 2022 3:54 PM
To: [REDACTED]
[REDACTED] Shams, Omar; [REDACTED]
Subject: AEGD Transportation Master Plan (Update): Proposed Industrial Road Cross-sections - Request for comments by October 28, 2022.
Attachments: FINAL NOTICE OF UPDATE to INDUSTRIAL AEGD CROSS-SECTIONS.pdf

Hello [REDACTED]

*Please find attached the Notice with link to proposed Conceptual **Industrial Road Cross-Sections** for the Airport Employment Growth District (AEGD) Transportation Master Plan (TMP) Update for Collector and Arterial roadways.*

The cross-sections were originally approved by Council of City of Hamilton in 2011, and revisited and presented during the current AEGD TMP Update during our virtual Public Information Centre in June 2021, but have since been fine tuned. Please see the link to the original PIC contents here, for your reference: electronic Pg. 19 of the presentation: <https://www.hamilton.ca/sites/default/files/2022-08/tmp-aegd-pic1-presentation.pdf>

*Establishing the basic elements and dimensioning of the collector and arterial road system is an important step in the master plan process that will inform the development of standardized cross-sections to be implemented as development of the business park proceeds. The purpose of circulating these to the **Six Nations Land and Resources Department, Six Nations of the Grand River Elected Council (SNEC)** is to solicit input including consideration of potential changes that would form part of the approved TMP Update.*

Note approval of the TMP satisfies Phase 1 and 2 of the Municipal Class Environmental Assessment process. As such, all proposed TMP collector and arterial roadways will still require additional study to satisfy Phases 3 and 4 of the process.

Please provide comments or questions by October 28, 2022 to the undersigned, if possible. Please also advise if you wish to meet to discuss.

Thank you,

Omar Shams

Project Manager, Transportation Planning
Transportation Planning and Parking
Planning and Economic Development Department
City of Hamilton
E-mail: Transport@hamilton.ca
Tel: 905-546-2424 Ext. 7474

Margaret Fazio, B.Sc., EP, MCIP, RPP
(She/her)

Senior Project Manager, Infrastructure Planning
Growth Management, Planning and Economic Development Department
City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5
Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail: Margaret.Fazio@hamilton.ca

The City of Hamilton encourages physical distancing, wearing a mask in an enclosed public space, and increased handwashing. Learn more about the City's response to COVID-19 www.hamilton.ca/coronavirus.



From: [Fazio, Margaret](#)
To: [REDACTED]
Cc: [Shams, Omar](#); [Molloy, Steve](#)
Bcc: [REDACTED]
Subject: Request for Feedback RE: Meeting Minutes from Jan 5, 2023 - Six Nations and COH RE AEGD TMP Update - Cross-sections and Agenda items for March 8 2023 mtg.
Date: February 10, 2023 1:30:00 PM
Attachments: [image001.jpg](#)
[P049-230-2007 - Arch Stage 1 Report.pdf](#)
[AEGD TMP Update - DRAFT Jan 5 2023 Meeting Six Nations & COH Minutes.doc](#)
[Forestry Horticulture - Design & Preservation Standards final July 22, 2022.pdf](#)
[Draft Conceptual Cross-section Design - October 13, 2022.pdf](#)

Hello [REDACTED] et al,

Thank you for meeting with City of Hamilton staff virtually on Jan 5, 2023 to discuss the amended conceptual cross-sections for the Hamilton's Airport Employment Growth District's (AEGD) Transportation Master Plan's Update study.

Please find attached the following documents:

1. Draft Jan 5, 2023 minutes from our meeting on City of Hamilton's Airport Employment Growth District's (AEGD) Transportation Master Plan's Update Cross-sections' for **your feedback by next week – Friday, Feb 17, 2023, if possible, in order to finalize.**
2. Cross-sections' graphics that were discussed at the above meeting.
3. City of Hamilton's Forestry Horticulture Standards finalized in July 22, 2022.
4. Archaeology Stage 1 Report

Please see below follow up answers to the questions that were raised during our meeting below, for your consideration. Please advise if you have any further questions or comments regarding the below items:

Q1. What are the Buffer sizes for various natural heritage features within the City/AEGD lands?

A1. As per Provincial Guidance (Provincial Policy Statement; PPS), the City has developed a City-wide Natural Heritage System (NHS). The NHS was developed using the "systems" approach recognizing that the feature as well as its functions are important. On a broad scale, the NHS within the Urban Area is comprised of the Niagara Escarpment Plan Area, Core Areas, and Linkages. Core Areas are the most important components of the NHS in terms of biodiversity, productivity, and ecological and hydrological functions. Linkages are supporting habitat patches which ecologically connect Core Areas. The NHS within the Airport Employment Growth District (AEGD) Secondary Plan includes Core Areas, Linkages, and hedgerows.

Based on policies within the Urban Hamilton Official Plan (UHOP), all Core Areas are to be protected with an appropriate vegetation protection zone (VPZ) or buffer. A VPZ is a vegetated area of sufficient width that protects the features and their

functions from the impacts of the proposed change and associated activities that will occur before, during, and after construction.

Minimum VPZ widths have been outlined within the policies of the UHOP. Appropriate VPZs are to be evaluated within an Environmental Impact Statement (EIS). Policies within the UHOP indicate that VPZs greater or less than the minimums may be required if ecological features and functions warrant it. Widths of VPZs are determined on a site-specific basis considering factors such as the sensitivity of the habitat, potential impacts of the proposed land use, intended function of the VPZ and the physiography of the site.

Minimum VPZs have been identified for the following Core Areas:

- Coldwater Watercourse and Critical Habitat: 30 m VPZ on each side of the watercourse (measured from the bankfull channel)
- Warmwater Watercourse and Important and Marginal Habitat: 15 m VPZ on each side of the watercourse (measured from the bankfull channel)
- Provincially Significant Wetlands: 30 m VPZ (measured from the boundary of the wetland)
- Unevaluated Wetlands: 15 m VPZ (measured from the boundary of the wetland)
- Woodlands: 10 m VPZ (measured from dripline of woodland) (applies to woodlands that do not meet criteria of significant)
- Significant Woodlands: 15 m VPZ (measured from the dripline of the woodland)
- Areas of Natural and Scientific Interest: 15 m VPZ
- Significant Valleylands: As required by the relevant Conservation Authority (**Niagara Peninsula Conservation Authority and Hamilton Conservation Authority are applicable within study lands**)
- Significant Habitat of Threatened and Endangered Species: VPZ determined through EIS (dependent on sensitivity)
- Significant Wildlife Habitat: VPZ determined through EIS (dependent on sensitivity)

Q2. What prevention methods/policies does the City utilize to eliminate encroachment into natural heritage features due to any type of development?

A2. Within the UHOP, the intent of policies is to preserve and enhance Core Areas and ensure that any development or site alteration within or adjacent to them shall not negatively impact their natural features or their ecological functions. When a development application has the potential to negatively impact a Core Area's natural features or their ecological functions, an EIS is required to be completed to the satisfaction of the City. The EIS inventories and describes the existing Core Areas and ecological functions of the site, assesses the potential negative impacts that the proposed development may have on the Core Areas and provides recommendations

on natural area boundaries, mitigation measures, and design measures to accommodate or enhance existing natural features and functions. Similarly, Linkages are to be protected, restored, and enhanced to sustain the Natural Heritage System. When development is proposed within a Linkage, a Linkage Assessment is required. The Linkage Assessment identifies and assesses the linkage (vegetative, wildlife, landscape features/functions), assesses potential impacts, and makes recommendations on how to protect, enhance or mitigate impacts through planning, design and construction practices.

Through both the EIS and Linkage Assessment, measures to mitigate impacts are identified. These may include:

- Zoning: Natural heritage features within the UHOP are typically zoned as Conservation/Hazard Zones. This limits what is to occur within this area to conservation, flood and erosion control activities, and passive recreation. In addition, prohibitions can be provided within a zoning by-law (e.g. no gates in fencing, no accessory buildings adjacent to the features)
- Planting of the VPZ: As per policies within the UHOP, the VPZ is to remain in or be returned to a natural state. The planting of this area aids in reducing encroachment.
- Fencing the VPZ: Using natural or anthropogenic materials to fence off the area
- Stewardship: Providing materials (i.e., brochures, interpretative signage) to educate the landowners

Q3. What native tree species will likely be planted within AEGD TMP – City standards in relation to Climate Change/Forestry Strategy.

A3. Please refer to our attached design guidelines. Within our planting list we include a selection of native species. We will be updating our guidelines this year to identify which are native to further clarify and help document users. We anticipate that, as the climate changes, we will need to plant more than just native species to ensure optimal tree survival.

Q4. What would be the preferred tree species density along roadways within AEGD TMP?

A4. Please refer to our design guidelines which state 8m-10m for large tree species, utility conflicts permitting.

Q5. What are maintenance considerations of Swales/Ditches for plantings – how to we minimize disturbance of species within proposed ditches, once they're planted?

A5. Further discussion is still required once roadways are in Detailed Design process. There are a wide variety of possible features which fall within a range of LID features. We anticipate that they are likely to be enhanced grass swales (grass to be comparable to simple ditches currently existing along rural roadways). As such for maintenance considerations for low maintenance grasses / perennials there may be a mowing regime 1-2 times a year. Invasive species will also need to be managed regardless of what species of grasses are proposed.

Q6. Are there documents that you could provide links to that would support climate change efforts within City Streets/Forestry and Stormwater quality and quantity?

A6. Please refer to the attached design guidelines, which we will be updating this year. Stormwater quality and quantity will be managed within the proposed enhanced swales. Climate Change adaptation and mitigation is integrated into all infrastructure planning, design and construction projects. The Climate Change influences city guidelines such as Biodiversity, Complete Street design, Engineering design and Stormwater and Transportation Master Plans.

Please advise of Agenda items that you would like to discuss at our virtual meeting relating to the AEGD TMP Update's Conceptual Cross-sections, on March 8, 2023, at 10:45 a.m. – 12:15 p.m.

Thank you,

Omar Shams and Margaret Fazio

Margaret Fazio, B.Sc., EP, MCIP, RPP

(She/her)

Senior Project Manager, Infrastructure Planning

Growth Management, Planning and Economic Development Department

City of Hamilton, 71 Main Street West, 6th Floor, Hamilton, ON, Canada, L8R 4Y5

Tel: 905-546-2424 ext. 2218; Fax: 905-540-5611; e-mail:

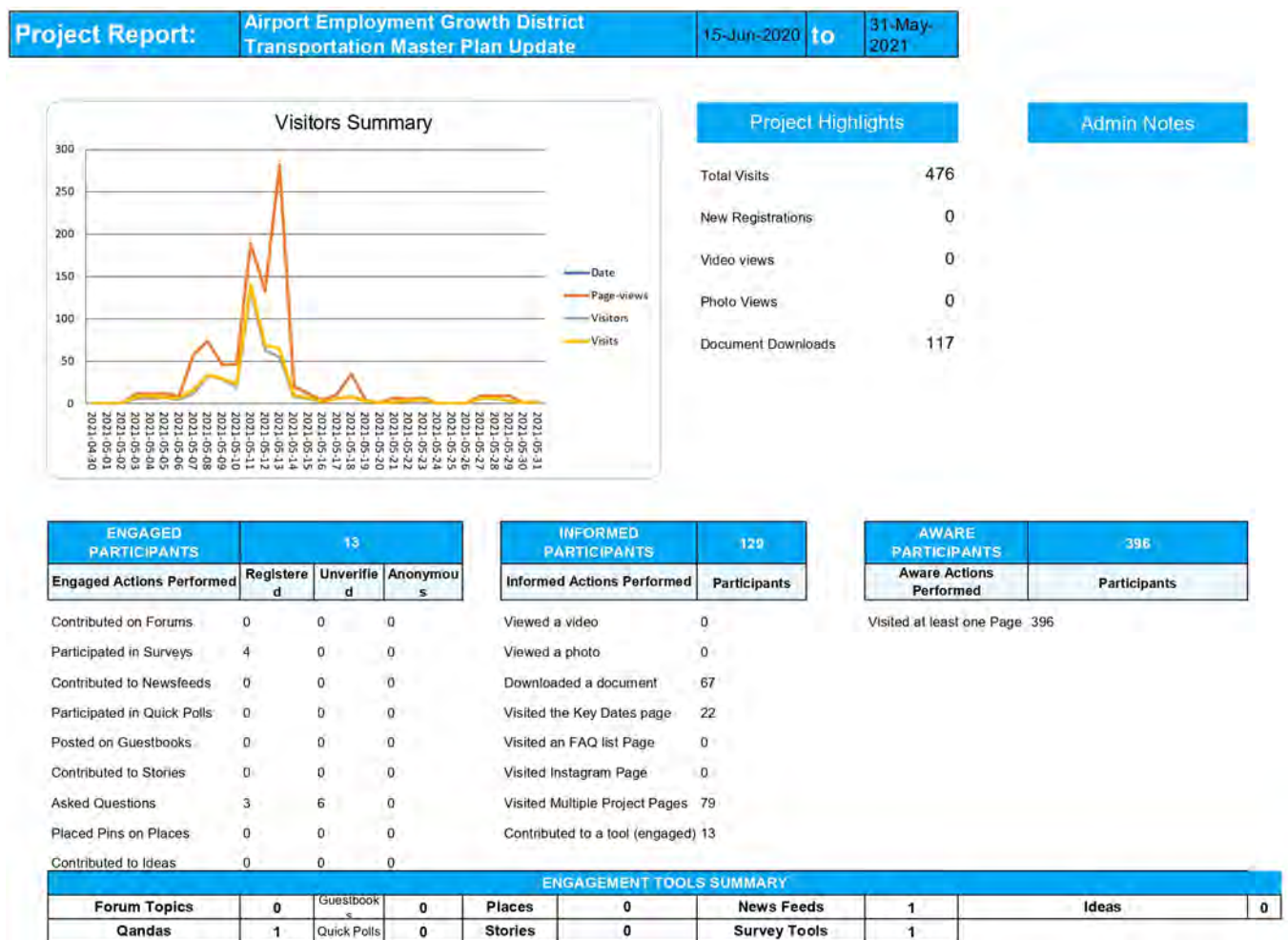
Margaret.Fazio@hamilton.ca

- *The City of Hamilton encourages physical distancing, wearing a mask in an enclosed public space, and increased handwashing. Learn more about the City's response to COVID-19 www.hamilton.ca/coronavirus.*



Appendix 4f: Engage Hamilton Statistics

The data for interaction of visitors to Engage.Hamilton.ca, where the Public Information Centre contents and presentation were available for comment, can be seen below:



Tool Type	Engagement Tool Name	Tool Status	Visitors	Contributors		
				Registered	Unverified	Anonymous
Qanda	Do you have a question about this project?	Published	14	3	6	0
News Feeds	Virtual Public Information Centre #1	Published	4	0	0	0
SurveyTools	Provide your feedback and suggestions	Published	5	4	0	0

INFORMATION WIDGET SUMMARY									
DOCUMENTS	5	PHOTOS	0	VIDEOS	1	FAQS	0	KEY DATES	1

Widget Type	Engagement Tool Name	Visitors	Downloads/Views
Document	PIC #1 Presentation Panels	48	55
Document	AEGD Transportation Master Plan (2011)	22	27
Document	AEGD TMP Implementation Update (2016)	15	16
Document	Notice of Study Commencement & PIC #1	11	13
Document	AEGD Transportation Master Plan (2011) - Appendices	5	6
Video	Public Information Centre #1	0	0
Key Dates	Key Date	22	25
Presentation Recording	Public Information Centre #1	116	116

The City's social media channels were used to share information about the virtual Public Information Centre and to increase civic engagement opportunities as follows:

Total Posts = 6

Posted on= Twitter, LinkedIn, Instagram

Twitter:

Posts = 4

Impressions = 29841

Engagement= 354

Instagram:

Instagram = 1

Views: 6910

LinkedIn:

Posts= 1

Impressions: 1589

30-Day Review Comments

From: [Fazio, Margaret](#)
To: jonabelle@corbettlandstrategies.ca
Cc: [Shams, Omar](#); ["Nick Wood"](#); ["John Corbett"](#)
Bcc: [Travis, Heather](#); [Vrooman, Tim](#); [Pham, Melanie](#); [Toman, Charlie](#)
Subject: FW: Response Letter to the completed the Airport Employment Growth District Transportation Master Plan Update (AEGD-TMP Update) Municipal Class Environmental Assessment (EA) Study
Date: Thursday, January 25, 2024 12:05:00 PM
Attachments: [2024 01 04 Braun Nurseries Inc. AEGD Trans Master Plan Response Letter.pdf](#)
[image001.png](#)

Hello Jonabelle,

Thank you for the attached comments on the AEGD TMP Update Notice of Completion.

In your letter you ask that additional study area and associated road network be reinstated in the current AEGD TMP Update mapping, as it was in the previous versions of the TMP.

We would like to bring to your attention the conclusion of the Municipal Comprehensive Review and GRIDS II, which were adopted by Council and resulted in final Provincially approved Urban Hamilton Official Plan. The city - wide employment land needs assessment determined that the existing land inventory meets the needs of the projected employment until 2051.

The lands outside of the urban boundary will not be development for employment or any other urban uses until such a time when the subsequent studies deem them required.

Since the road network in question falls outside of the urban boundary until 2051, as indicated in the Urban Hamilton Official Plan, they are not and will not be included in the AEGD TMP Update map.

Thank you,
Omar Shams and Margaret Fazio

Margaret Fazio E.P., RPP and MCIP
Senior Project Manager, InfrastructurePlanning
Planning and Economic Development
City of Hamilton
71 Main Street West, 6th Floor, L8P 4Y5
Phone 905-546-2424 ext. 2218
Email: margaret.fazio@hamilton.ca



From: Jonabelle T <jonabelle@corbettlandstrategies.ca>
Sent: Friday, January 5, 2024 4:30 PM
To: [iplanning](mailto:iplanning@hamilton.ca) <iplanning@hamilton.ca>; [Transportation](mailto:transport@hamilton.ca) <transport@hamilton.ca>
Cc: John Corbett <john@corbettlandstrategies.ca>; Nick Wood <nick@corbettlandstrategies.ca>

Subject: Response Letter to the completed the Airport Employment Growth District Transportation Master Plan Update (AEGD-TMP Update) Municipal Class Environmental Assessment (EA) Study

Good Afternoon Ms. Fazio and Mr. Shams,

I hope this email finds you well.

On behalf of Braun Nurseries Inc., Corbett Land Strategies Inc. (CLS) is pleased to provide formal comments on the recent update on the Airport Employment Growth District Transportation Master Plan (AEGD-TMP Update).

This response letter is in relation to the three (3) land holdings that are currently owned by Braun Nurseries Inc. which holds a total site area of approximately 158 hectares (390 acres) adjacent to the Highway 6 corridor just west of the John C. Munro International Airport.

Jonabelle Ceremuga R.P.P , M.C.I.P

Senior Associate Development Planner

Phone: 416-939-2762

Email: jonabelle@corbettlandstrategies.ca

Corbett Land Strategies

5045 South Service Road, Suite 301

Burlington, Ontario L7L 5Y7

www.corbettlandstrategies.ca



Friday, January 5, 2023

City of Hamilton
71 Main Street West
Hamilton, ON
L8P 4Y5

Attention:	Margaret Fazio, Senior Project Manager Omar Shams, Project Manager
Re:	Formal Comments to the Airport Employment Growth District Transportation Master Plan Update Municipal Class Environmental Assessment (EA Study)

Dear Ms. Fazio and Mr. Shams,

On behalf of Braun Nurseries Inc. (Client), Corbett Land Strategies Inc. (CLS) is pleased to provide formal comments on the recent update on the Airport Employment Growth District Transportation Master Plan (AEGD-TMP Update) and update to the Water & Wastewater Servicing Master Plan. It is understood that this update was undertaken in accordance with the master planning process of the Municipal Engineers Association's Municipal Class Environmental Assessment Document (MCEA, 2001, last amended 2023).

This response letter is in relation to the three (3) land holdings that is currently owned by the Client which holds a total site area of approximately 158 hectares (390 acres) adjacent to the Highway 6 corridor just west of the John C. Munro International Airport. The subject properties are shown on Schedule A attached hereto. The lands are located within the Airport employment Growth District Study Boundary and are identified as additional study areas intended to serve long term development goals.

In reviewing the updates to the AEGD Transportation Master Plan (TMP), we understand that the Subject Lands are considered "Additional Study Area" and anticipated for long term development. Within the 2016 TMP Update, the subject lands are identified in proximity to several road projects, however the AEGD TMP Update (2023) removes these roads from the list of "Low Priority" projects. The 2016 TMP Update identified the timing of the "Long Term" projects at beyond 2031, whereas "Low Priority" projects in the 2023 TMP Update are being planned to be implemented beyond 2041.

We request that the former “additional Study Lands” be labelled as such in the 2023 TMP Update. Further, we ask that the previous road projects identified in the 2016 TMP Update be returned to the 2023 TMP Update and be labelled as “Low Priority”. We understand that the removal of the roads is a result of changes to employment needs since the adoption of the 2016 TMP Update, however, given the Growth Plan projections which encourage the planning of communities to 2051, it would be appropriate to anticipate infrastructure improvements in the event that additional employment lands are needed (as identified through the completion of ongoing Master Planning exercises). Given the twinning of highway 6 and proximity to the airport, the improvements set out in the 2016 TMP Update in proximity to the subject lands are particularly appropriate to be included in the 2023 TMP Update.

We believe that with the expansion of the Highway 6 corridor, new economic opportunities and competitive advantages not only to the City of Hamilton but also to the Province will be created. Accordingly, it is our opinion that the existing land uses abutting Highway 6 should be planned now, to support the proposed widening of Highway 6 which is critical to the growing employment around the airport. Further, it would be beneficial from a compatibility and financial perspective that these lands be established for employment and urban uses to fully support the road network expansions and updates in the Airport Employment Growth District.

We will continue to monitor closely the progress of the remaining phases and future updates surrounding the Airport Employment Growth District however on behalf of the Client, we reserve the right to submit further comments at a later date.

Please do not hesitate to contact the undersigned should you have any questions or require anything further.

Prepared by:

Jonabelle Ceremuga

Jonabelle Ceremuga, BES, MEPP
Senior Associate Development Planner
jonabelle@corbettlandstrategies.ca
(416) 939-2762

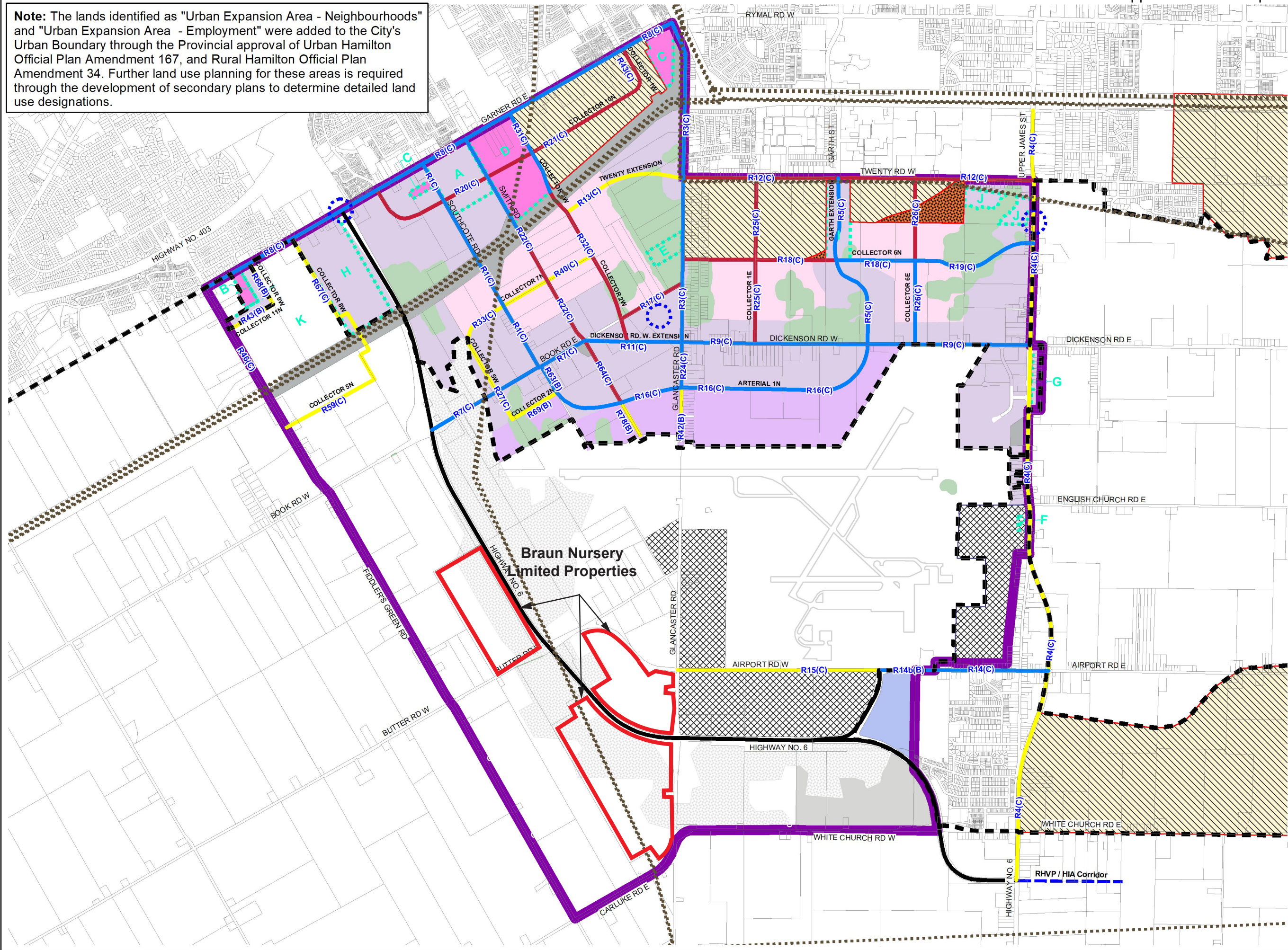
Approved by:

Nick Wood

Nick Wood, M.C.I.P., R.P.P.
Vice President
nick@corbettlandstrategies.ca
(416) 420-5544

Schedule A - Location and Context Mapping

Note: The lands identified as "Urban Expansion Area - Neighbourhoods" and "Urban Expansion Area - Employment" were added to the City's Urban Boundary through the Provincial approval of Urban Hamilton Official Plan Amendment 167, and Rural Hamilton Official Plan Amendment 34. Further land use planning for these areas is required through the development of secondary plans to determine detailed land use designations.



Legend

Land Use Designations

- Urban Expansion Area - Neighbourhoods
- Urban Expansion Area - Employment Area
- Airside Industrial
- Airport Related Business
- Airport Light Industrial
- Airport Prestige Business
- Utilities
- Institutional
- Natural Open Space
- Airport Reserve

Other Features

- Hydro One Utility
- High Priority
- Medium Priority
- Low Priority
- RHVP / HIA Corridor
- Provincial Highway
- SPA
- Employment Supportive Centres
- John C. Munro Hamilton International Airport
- Greenbelt Natural Heritage System
- Urban Boundary
- Airport Employment Growth District Study Boundary

Airport Employment Growth District
AEGD Road Network
Implementation Phasing Map



Date: December 2016

PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT
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From: [Shams, Omar](#)
To: [Fazio, Margaret](#)
Subject: FW: Response Letter to the completed the Airport Employment Growth District Transportation Master Plan Update (AEGD-TMP Update) Municipal Class Environmental Assessment (EA) Study
Date: Monday, January 8, 2024 9:01:24 AM
Attachments: [2024 01 04 Braun Nurseries Inc AEGD Trans Master Plan Response Letter.pdf](#)

For our record

From: Transportation <transport@hamilton.ca>
Sent: January 8, 2024 7:26 AM
To: Shams, Omar <Omar.Shams@hamilton.ca>
Subject: FW: Response Letter to the completed the Airport Employment Growth District Transportation Master Plan Update (AEGD-TMP Update) Municipal Class Environmental Assessment (EA) Study

FYI

Tiffany Wolsey
[On Behalf of Transportation Planning](#)

From: Jonabelle T <jonabelle@corbettlandstrategies.ca>
Sent: Friday, January 5, 2024 4:30 PM
To: [iplanning](#) <iplanning@hamilton.ca>; Transportation <transport@hamilton.ca>
Cc: John Corbett <john@corbettlandstrategies.ca>; Nick Wood <nick@corbettlandstrategies.ca>
Subject: Response Letter to the completed the Airport Employment Growth District Transportation Master Plan Update (AEGD-TMP Update) Municipal Class Environmental Assessment (EA) Study

Good Afternoon Ms. Fazio and Mr. Shams,

I hope this email finds you well.

On behalf of Braun Nurseries Inc., Corbett Land Strategies Inc. (CLS) is pleased to provide formal comments on the recent update on the Airport Employment Growth District Transportation Master Plan (AEGD-TMP Update).

This response letter is in relation to the three (3) land holdings that are currently owned by Braun Nurseries Inc. which holds a total site area of approximately 158 hectares (390 acres) adjacent to the Highway 6 corridor just west of the John C. Munro International Airport.

Jonabelle Ceremuga R.P.P , M.C.I.P

Senior Associate Development Planner

Phone: 416-939-2762

Email: jonabelle@corbettlandstrategies.ca

Corbett Land Strategies

5045 South Service Road, Suite 301

Burlington, Ontario L7L 5Y7

www.corbettlandstrategies.ca

From: [iplanning](#)
To: [Fazio, Margaret](#); [Shams, Omar](#)
Subject: FW: ENB_R231127-006ON_CityOfHamilton_AEGD_TMP - Enbridge Notification Response Letter - Application # AEGD TMP
Date: Wednesday, January 3, 2024 9:01:10 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.gif](#)
[image004.png](#)
[image005.png](#)
[ENB_R231127-006ON_CityOfHamilton_AEGD_TMP.pdf](#)

From: Oliver Prcic <oprcic@bastudios.ca>
Sent: Thursday, December 14, 2023 4:41 PM
To: Transportation <transport@hamilton.ca>; [iplanning](#) <iplanning@hamilton.ca>
Cc: Tokini Briggs <tokini.briggs@enbridge.com>; notifications <notifications@enbridge.com>
Subject: ENB_R231127-006ON_CityOfHamilton_AEGD_TMP - Enbridge Notification Response Letter - Application # AEGD TMP

Hi Omar & Margaret,

Thank you for sending Enbridge notice of the **City of Hamilton's Airport Employment Growth District Transportation Master Plan update**. B&A is the land use planning consultant for Enbridge's Liquid Pipeline Network across Canada. On behalf of Enbridge, we work with municipalities and stakeholders regarding planning and development in proximity their pipeline infrastructure to ensure that it occurs in a safe and successful manner.

Please find attached our response to your circulation letter for application # **AEGD TMP**.

Do not hesitate to contact me with any questions or comments. We appreciate receiving your referrals and look forward to continuing to receive them at notifications@enbridge.com for our review and comment.

Thank you,
Oliver



Oliver Prcic
Community Planner
MPlan, B.A Urban Studies

d | 403.692.4535 e | oprcic@bastudios.ca



B&A | Planning • Design • Engagement |

December 14, 2023

City of Hamilton
The Municipal Clerk's Office, City Hall
1st Floor - 77 Main Street West,
Hamilton, ON L8P 4Y5

Sent via email to: Transportation@hamilton.ca, iplanning@hamilton.ca

ATTN: Omar Shams & Margaret Fazio

RE: This referral is for the City of Hamilton's Airport Employment Growth District Transportation Master Plan update. The AEGD TMP Update identifies policies, programs and infrastructure improvements needed to manage both existing and future transportation demand for the business park. This referral is only for the notice of completion and highlights in general the roads that will see upgrades.

Your File #: AEGD TMP

Our Reference #: ENB_R231127-006ON_CityOfHamilton_AEGD_TMP

Thank you for sending Enbridge notice of this project. B&A is the land use planning consultant for Enbridge's Liquids Pipeline network across Canada. On behalf of Enbridge, we work with municipalities and stakeholders regarding planning and development in proximity to their pipeline infrastructure to ensure that it occurs in a safe and successful manner.

We request that this response package is provided in full to the landowner / applicant as it contains useful and important information, including certain requirements that must be followed, in respect of development in proximity of pipelines.

Description of Application

We understand that this application is for the City of Hamilton's Airport Employment Growth District Transportation Master Plan update. The subject site has five roads that will see some form of an upgrade in lanes to accommodate additional vehicle traffic. The site is around the Hamilton Airport which has plans for additional industrial and residential expansion. The only road to have a crossing with Enbridge is Glancaster Road, and the area being upgraded is not near Enbridge infrastructure.

As demonstrated in [Attachment 01 | Approximate Location of Pipeline Infrastructure](#) the proposed road upgrades are not near Enbridge infrastructure.

Assessment & Requirements

Based on a review of the project materials provided the proposed road upgrades are not proposing any new development at this time, are not within the pipeline assessment area, and not proposing any new crossings or ground disturbance within the prescribed area]. Therefore, **Enbridge has expressed no objections to this project as proposed.**

Although Enbridge has expressed no objections to the proposed road upgrades at this time, the pipeline is located adjacent to Highway 6 therefore, all the requirements detailed below and within [Attachment 02 | Enbridge Development Requirements](#) must be adhered to for all future development.

Requirements

- 1) **Obtain a Locate Request:** To identify the precise alignment of the pipeline on the subject lands, a Locate Request must be made prior to any ground disturbance taking place.
- 2) **No development is permitted within the Enbridge right-of-way** without Enbridge's written consent and without the presence of an Enbridge representative on site.
- 3) **Written Consent from Enbridge is required for ground disturbance within 30m perpendicularly on each side from the centreline of the pipeline known as the "Prescribed Area".** For more information about when written consent is required and how to submit an application, please see [Attachment 03 | Enbridge Pipeline Crossing Guidelines](#).
- 4) **Written Consent from Enbridge is required for all above and below ground crossings of the pipeline.** For more information about when written consent is required and how to submit an application, please see [Attachment 03 | Enbridge Pipeline Crossing Guidelines](#).

The written authorization request must include:

- a. Drawings with cross sections of the proposed roads and verification of the depth of cover from both sides of the road.
 - b. Drawings should include any new utilities that will cross the right-of-way.
- 5) **Road Crossings:** Where future development such as a roadway or a parking area is proposed within the pipeline right-of-way, Enbridge may be required to carry out pipeline inspection and recoating of the existing pipeline(s) prior to the start of the development. The costs of Enbridge's design, inspection, recoating work and any other pipeline alteration as a result of the crossing will be borne by the Developer.
 - 6) **Subdivision lot lines should not divide the pipeline right-of-way.** Wherever possible, subdivision boundaries should follow the right-of-way. If this is not possible specific language must be included in the offers of sale or lease. Please see [Attachment 02](#) for details.

- 7) **Development setbacks** from pipelines and rights-of-way are recommended in support of damage prevention and to allow both pipeline operators and developers buffer lands for operations and maintenance purposes.
- 8) **Landscaping** shall not take place on Enbridge's pipeline right-of-way without Enbridge's prior written consent and where consent is granted such landscaping must be performed in accordance with Enbridge's Pipeline Crossing Guidelines. Please see **Attachment 02** for details.
- 9) **Pathways** shall not be installed on Enbridge's pipeline right-of-way without Enbridge's prior written consent and where consent is granted pathways must be designed in accordance with Enbridge's requirements. Please see **Attachment 02** for details.
- 10) **Fencing** should be installed along the identified open space easement. Please see **Attachment 02** for details
- 11) **Written consent** must be obtained from Enbridge for ongoing activities such as mowing or maintenance of the pipeline right-of-way on public lands.
- 12) **Notifications of additional development for Class monitoring:** As per Federal and Provincial Regulatory Requirements and Standards, pipeline operators are required to monitor all new development in the vicinity of their pipelines that results in an increase in population or employment. Therefore, please keep us informed of any additional development being proposed within the Pipeline Assessment Area indicated in **Attachment 01 | Approximate Location of Pipeline Infrastructure**. The pipeline assessment area GIS data can be provided to the municipality upon request to notifications@enbridge.com.

The above requirements are those identified as relevant based on the application materials provided. Additional detail on these requirements and other general development requirements are included in **Attachment 02 | Enbridge Development Requirements**. For additional resources on safe development in proximity of Enbridge's pipeline network please view [Enbridge's Public Awareness Brochures](#) or visit the [Land Use Planning and Development website](#).

Please continue to keep us informed about the outcome of the project and any future policy, land use, subdivision, and development activities in proximity to Enbridge's pipelines and facilities. All future project notifications should be sent to notifications@Enbridge.com, while questions about the details of this letter may be sent to the contact listed below. Thanks again for providing us with the opportunity to provide comments on this project and we look forward to working with you in the future.

Sincerely,



Oliver Prcic

Community Planner | *B.A. Urban Studies, MPlan*

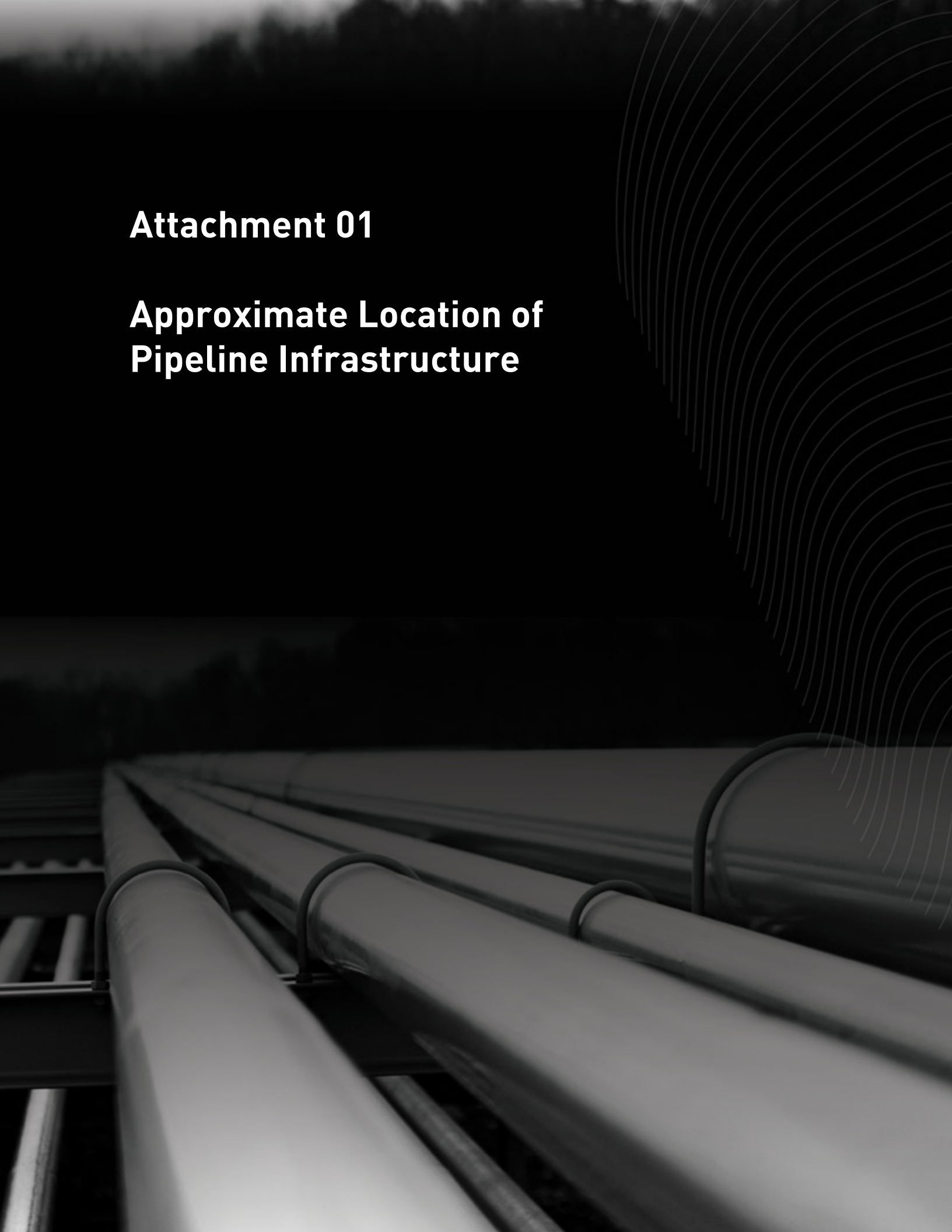
403.692.4535 | oprcic@bastudios.ca

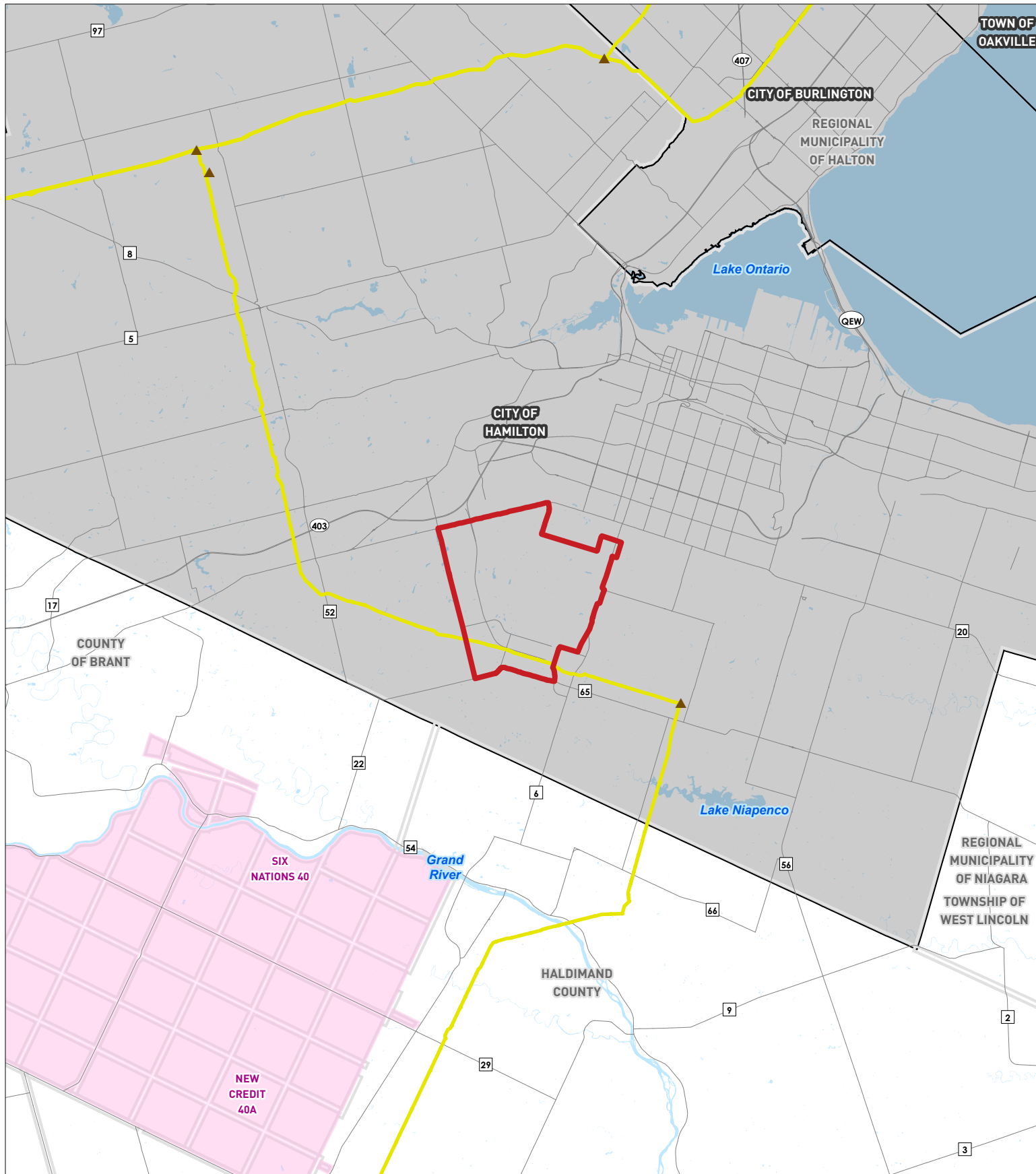
B&A | 600, 215 – 9 Avenue SW | Calgary, AB T2P 1K3 | www.bastudios.ca



Attachment 01

Approximate Location of Pipeline Infrastructure





Coordinate System: NAD 1983 UTM Zone 17N

Geographic Coordinates: -79.9419, 43.1795



1:200,000

- Subject Site
- Enbridge Facility
- Enbridge Pipeline
- Major Road
- First Nation/Métis Settlement

- Municipality - Rural
- Municipality - Urban
- Park/Protected Area
- Province
- Waterbody

Regional Context

Municipal Plan

City Of Hamilton

Referral ID: R231127-0060N

November 2023



0 1 2 3 4 kilometres
Date Saved: Nov 28, 2023

Map and data are conceptual and for informational and planning purposes only.



PLEASE CONTACT YOUR LOCAL ONE CALL CENTRE (WWW.CLICKBEFOREYOU DIG.COM) FOR ANY GROUND DISTURBANCE WITHIN THE PRESCRIBED AREA AS SHOWN ON THIS MAP.

Coordinate System: NAD 1983 UTM Zone 17N

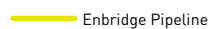
Geographic Coordinates: -79.9419, 43.1795



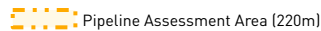
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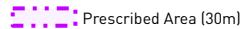
Subject Site



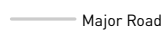
Enbridge Pipeline



Pipeline Assessment Area (220m)



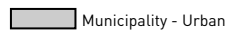
Prescribed Area (30m)



Major Road



Road



Municipality - Urban

0 500 1,000 1,500 2,000 metres

Date Saved: Nov 28, 2023

Local Context

Municipal Plan

City Of Hamilton
Referral ID: R231127-0060N

November 2023



Map and data are conceptual and for informational and planning purposes only.

Note: Due to announcements from the Minister of Municipal Affairs and Housing on October 23, 2023 regarding Hamilton Official Plan Amendments, the status of the Urban Expansion Areas is still being determined. Maps will be modified to reflect approved legislation at a later date, as required

AEGD Road Network Implementation Phasing Map

Legend

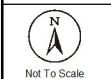
Land Use Designations

- | | |
|---|--|
|  | Urban Expansion Area - Neighbourhoods |
|  | Urban Expansion Area - Employment Area |
|  | Airside Industrial |
|  | Airport Related Business |
|  | Airport Light Industrial |
|  | Airport Prestige Business |
|  | Utilities |
|  | Institutional |
|  | Natural Open Space |
|  | Airport Reserve |

Other Features

- | | |
|---|---|
|  | Hydro One Utility |
|  | High Priority |
|  | Medium Priority |
|  | Low Priority |
|  | RHVP / HIA Corridor |
|  | Provincial Highway |
|  | SPA |
|  | Employment Supportive Centres |
|  | John C. Munro Hamilton International Airport |
|  | Greenbelt Natural Heritage System |
|  | Urban Boundary |
|  | Airport Employment Growth District Study Boundary |

**Airport Employment
Growth District**
AEGD Road Network
Implementation Phasing Map



Date: December 2016

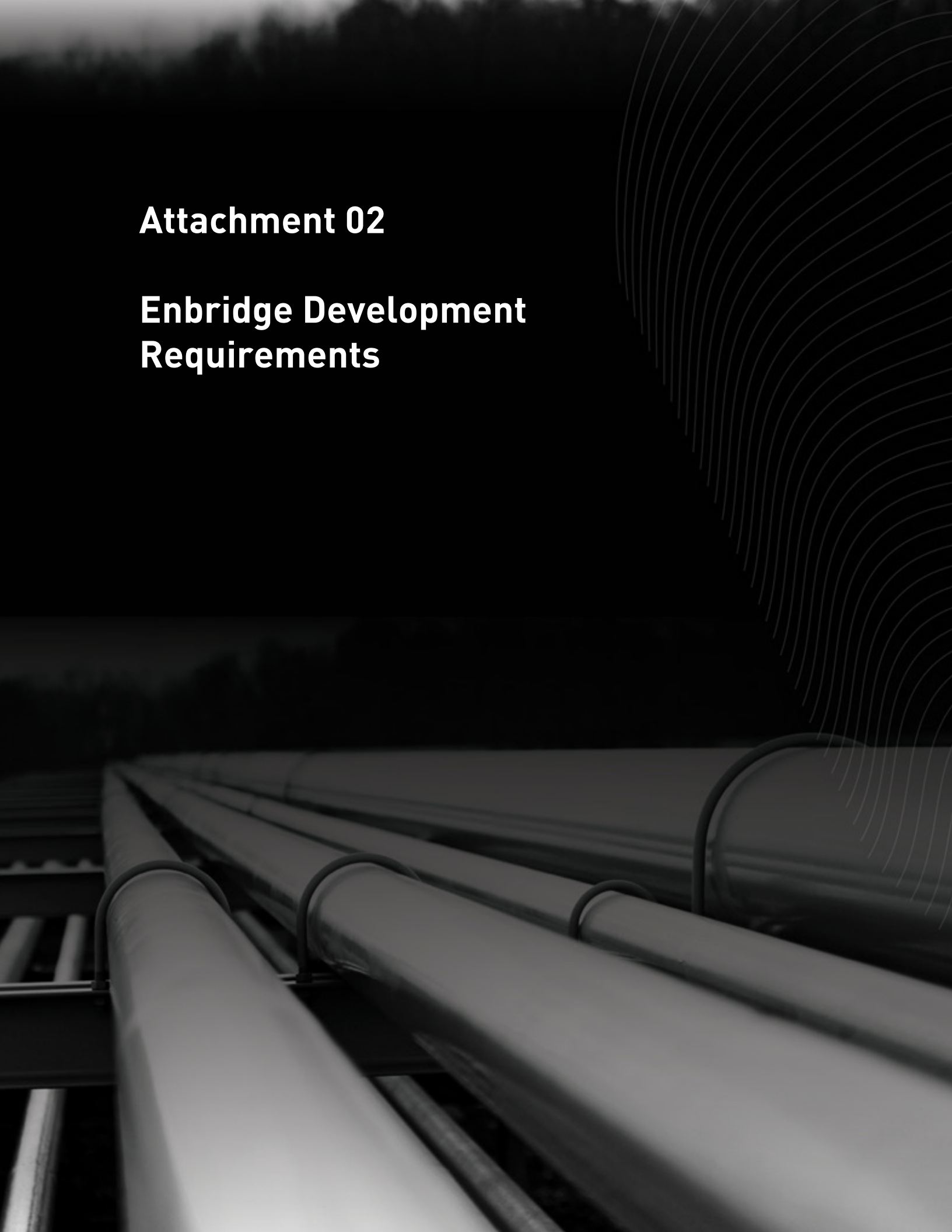


PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT

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OF SURVEY

Attachment 02

Enbridge Development Requirements



Attachment 02 | Enbridge Development Requirements

Definitions

- A **Right-of-Way (ROW)** is a strip of land where property rights have been acquired for pipeline systems by the pipeline company. It is a surveyed area of a specific width which grants legal rights of access to operate and maintain the infrastructure within it.
- The **Prescribed Area** is an area of 30 m (100 ft) perpendicularly on each side from the centreline of a pipeline. Excavation or ground disturbance within this zone requires written consent from the pipeline company pursuant to the Canadian Energy Regulator Pipeline Damage Prevention Regulations (Authorizations). Depending on the pipeline location and regulator this may also be known as a “controlled area” or “safety zone”.
- The **Pipeline Assessment Area** identifies lands on either side of a pipeline in which new development must be monitored by the pipeline operator. The requirement for and scope of this monitoring is governed by the Canada Energy Regulator (CER) and CSA Z662:19. Depending on the pipeline location, operator, and regulator this may also be known as the “notification zone”, “referral area” or “class location assessment area”.

Locating the Pipeline | Click Before You Dig

Any person planning to construct a facility across, on, along or under a pipeline (including the right-of-way), conduct a ground disturbance activity within 30 metres of the centreline of a pipe, or operate a vehicle or mobile equipment across a right-of-way, must first request a locate service. To identify the precise alignment of the pipeline on the subject lands, Locate Requests can be made online, via mobile apps, or via phone (see table below),

The locate request must be made a minimum of three (3) business days in advance of the construction, ground disturbance, or vehicle or mobile equipment crossing. The One-Call Centre will notify Enbridge to send a representative to mark the facilities, explain the significance of the markings and provide you with a copy of the locate report. Enbridge requests a minimum of five (5) business days’ notice for any work involving explosives.

Canadian One-Call Centres		
Province	Phone	Website
British Columbia	1.800.474.6886	www.bc1c.ca
Alberta	1.800.242.3447	www.utilitysafety.ca
Saskatchewan	1.866.828.4888	www.sask1stcall.com
Manitoba	1.800.940.3447	www.clickbeforeyoudigmb.com
Ontario	1.800.400.2255	www.ontarioonecall.com
Quebec	1.800.663.9228	www.info-ex.com
Nova Scotia & New Brunswick	1.800.344.5463	www.info-ex.com
Northwest Territories	Contact Enbridge Pipelines Inc. (1-867-587-7000)	
www.clickbeforeyoudig.com		

Right-of-way

A right-of-way is a strip of land where property rights have been acquired for pipeline systems by the pipeline company. It is a surveyed area of a specific width which grants legal rights of access to operate and maintain the infrastructure within it:

- No permanent structures are permitted within the pipeline right-of-way area without Enbridge's prior written consent.
- Enbridge must have the ability to access Enbridge's pipeline right-of-way at all times for construction, maintenance, operation, inspection, patrol, repair, replacement and alteration of the pipeline(s). Therefore, the Enbridge pipeline right-of-way shall be maintained as green space, park belt or open space.
- No work shall take place on Enbridge's pipeline right-of-way without the presence of an Enbridge representative.
- Storage of materials and/or equipment, grading or placing fill on Enbridge's pipeline right-of-way is not permitted without prior written consent from Enbridge.

Written Consent

Any proposed crossings of the pipeline right-of-way or ground disturbance within the Prescribed Area or pipeline right-of-way are subject to Enbridge's written consent in accordance with the Canadian Energy Regulator Act and regulations including the Canadian Energy Regulator Pipeline Damage Prevention Regulations as amended or replaced from time to time (or for pipelines contained within Alberta, the Pipeline Act (Alberta) and Pipeline Rules as amended or replaced from time to time).

The applicant will require Enbridge's written consent or a crossing agreement prior to undertaking the following activities:

- Constructing or installing a facility across, on, along or under an Enbridge pipeline right-of-way;
- Conducting any activity that would cause ground disturbance (excavation or digging) on an Enbridge's pipeline right-of-way or within 30m perpendicularly on each side from the centerline of Enbridge's pipe (the "Prescribed Area");
- The operation of a vehicle, mobile equipment or machinery across an Enbridge pipeline right-of-way; outside of the travelled portion of a highway or public road;
- Using any explosives within 300m of Enbridge's pipeline right-of-way.

For more information about when written consent is required and how to submit an application, please see [**Attachment 03 | Enbridge Pipeline Crossing Guidelines**](#).

Prescribed Area

The Prescribed Area is an area of 30 m (approximately 100 ft) perpendicularly on each side from the centreline of a pipeline. Excavation or ground disturbance within this zone requires written consent from the pipeline company pursuant to the Canadian Energy Regulator Pipeline Damage Prevention Regulations (Authorizations). Depending on the pipeline location and regulator this may also be known as a "controlled area" or "safety zone".

For pipelines crossing provincial boundaries, Enbridge is regulated by the Canada Energy Regulator and is subject to the Canadian Energy Regulator Act and its regulations as amended or replaced from time to time.

- Section 335(1) of the Canadian Energy Regulator Act prohibits any person to construct a facility across, on, along or under a pipeline or engage in an activity that causes a ground disturbance within the Prescribed Area unless the construction or activity is authorized by the pipeline company.
- Section 335(2) of the Canadian Energy Regulator Act prohibits any person to operate a vehicle or mobile equipment across a pipeline unless the vehicle or equipment is operated within the travelled portion of a highway or public road or such operation is authorized under section 13(1) of the Canadian Energy Regulator Pipeline Damage Prevention Regulations (Authorizations).

For pipelines contained within Alberta, Enbridge is regulated by the Alberta Energy Regulator and is subject to the Pipeline Act and Pipeline Rules as amended or replaced from time to time.

- As per the Alberta Energy Regulator, any person who plans to engage in an activity that causes a ground disturbance within the pipeline right-of-way must obtain the written consent of the pipeline company.

Crossings

- Written consent from Enbridge is required for all crossings of the pipeline.
- The written authorization request must include:
 - Drawings with cross sections of the proposed new road and road widening to verify the depth of cover from both sides of the road.
 - Drawings should include any new utilities that will cross the ROW.
- No vehicles or mobile equipment, including heavy machinery, will be permitted to cross Enbridge's pipeline right-of-way without the prior written consent of Enbridge. Please complete Enbridge's Equipment Specification and Data Sheet(s) to make an application for temporary equipment crossing including timeframe, type and weight of equipment per axle together with the name of the applicant, address, contact name and phone number/email.
- Where future development such as a roadway or a parking area is proposed over the pipeline right-of-way, Enbridge may be required to carry out pipeline inspection and recoating of the existing pipeline(s) prior to the start of the development. **The costs of Enbridge's design, inspection, recoating work and any other pipeline alteration as a result of the crossing will be borne by the Developer.**

Ongoing Activities

- Written consent must be obtained from Enbridge for ongoing activities such as mowing or maintenance of the pipeline right-of-way on public lands.

Class Monitoring in the Pipeline Assessment Area

As per Federal and Provincial Regulatory Requirements and Standards, pipeline operators are required to monitor all new development in the vicinity of their pipelines that results in an increase in population or employment. Therefore, please keep us informed of any additional development being proposed within the Pipeline Assessment Area indicated in **Attachment 01 | Approximate Location of Pipeline Infrastructure**.

- If a pipe replacement is necessary because of the proposed development, temporary workspace shall be granted to Enbridge on terms and conditions to be (or as) negotiated. This workspace will be adjacent to the existing pipeline right-of-way and may be up to a maximum of 15m wide on either or both sides. Grading or landscaping of the workspace is not permitted until the replacement has been completed.

Subdivisions

- Lot lines are not to be incorporated over Enbridge's pipeline right-of-way. If lot lines are incorporated over Enbridge's pipeline right-of-way, the owner agrees, in writing to include the following warning clause in all offers of sale and purpose and/or lease:
"Future residents are advised that Enbridge owns and operates _____ pipeline(s) within an _____ m pipeline right-of-way on the property. As a result, there are conditions that apply to various activities over the pipeline right-of-way that must be approved by Enbridge."
- All display plans in the lot/home sales office shall identify the Enbridge pipeline right-of-way-corridor within the proposed linear park block(s).

Structures and Setbacks

Development setbacks from pipelines and rights-of-way are recommended in support of damage prevention and to allow both pipeline operators and developers buffer lands for operations and maintenance purposes.

- No permanent structures are permitted within the pipeline right-of-way area without Enbridge's prior written consent.

Other Development

Wells / Septic Systems

Wells or septic systems shall not be located on Enbridge's pipeline right-of-way. Construction of any septic system within 30m of the pipeline right-of-way requires prior written notification to Enbridge to ensure the septic bed will not adversely impact the integrity of the pipeline and pipeline right-of-way. Written consent from Enbridge must be received prior to the start of any work.

Aerial Power Lines

Aerial power lines crossing the pipeline right-of-way require aerial warning devices installed and properly maintained. No poles, pylons, towers, guys, anchors or supporting structures of any kind are permitted on the pipeline right-of-way.

Pathways, Fencing & Landscaping

Fencing Along ROW

- For development along an Enbridge right-of-way, permanent fencing shall be erected and maintained by the Developer at the Developer's cost along the limits of Enbridge's pipeline right-of-way. The fence erected must meet Enbridge's and the governing municipality's specifications concerning type, location and height. Any excavations for fence posts on, or within 30m of the pipeline must be done by hand or hydrovac. There shall be no augers operated on the pipeline right-of-way. The Developer shall notify Enbridge three business (3) days prior to any excavation for fence posts located on or within 30m of the pipeline.
- Limits of the pipeline right-of-way parallel to the pipeline shall be delineated with permanent fencing to prevent gradual encroachment by adjacent landowners. Suitable barriers shall be installed at all road accesses to prevent unauthorized motor vehicles from entering Enbridge's pipeline right-of-way.
- Enbridge's written consent must be obtained and One Call notifications must be completed prior to any fence installations.

Landscaping

No landscaping shall take place on Enbridge's pipeline right-of-way without Enbridge's prior written consent and where consent is granted such landscaping must be performed in accordance with Enbridge's Pipeline Crossing Guidelines, as follows:

- The landowner / developer shall ensure a 5m continuous access way in the pipeline right-of-way is provided for the Enbridge repair crews.

In order to maintain a clear view of the pipeline for the purposes of right-of-way monitoring, which is required by federal regulation, trees and shrubbery planted in proximity to the pipeline must meet the following criteria:

- Enbridge permits the following vegetation within the pipeline right-of-way: Flowerbeds, vegetable gardens, lawns and low shrubbery (under 1 m in height), and
- The mature growth height of vegetation does not exceed 1.5 m (5 ft) at maturity and must maintain a minimum distance of 3 m (10 ft) from the nearest pipeline.

Pathways / Trails

No pathways shall be installed on Enbridge's pipeline right-of-way without Enbridge's prior written consent and where consent is granted pathways must be designed in accordance with Enbridge's requirements:

- A pathway crossing Enbridge's pipeline right-of-way shall be installed as close as possible to a ninety (90) degree angle to the Enbridge pipeline(s).
- The width of the pathway shall not exceed 3m.
- A parallel pathway within Enbridge pipeline right-of-way shall maintain a minimum 5m separation from the edge of the Enbridge pipeline(s).
- Enbridge's pipeline(s) must be positively identified at certain intervals as directed by Enbridge's representative for parallel installation.
- Enbridge shall install pipeline markers at all road, pathway and other crossings throughout the development area at Developer's cost.

Drainage and Erosion

- The Developer shall ensure drainage is directed away from the pipeline right-of-way so that erosion will not adversely affect the depth of cover over the pipeline(s).
- Any large-scale excavation adjacent to the pipeline right-of-way, which is deeper than the bottom of the pipe, must maintain a slope of 3:1 away from the edge of the pipeline right-of-way.
- Depth of cover over Enbridge pipeline(s) shall not be compromised over the life of the Developer's facility due to rutting, erosion or other means.

Construction

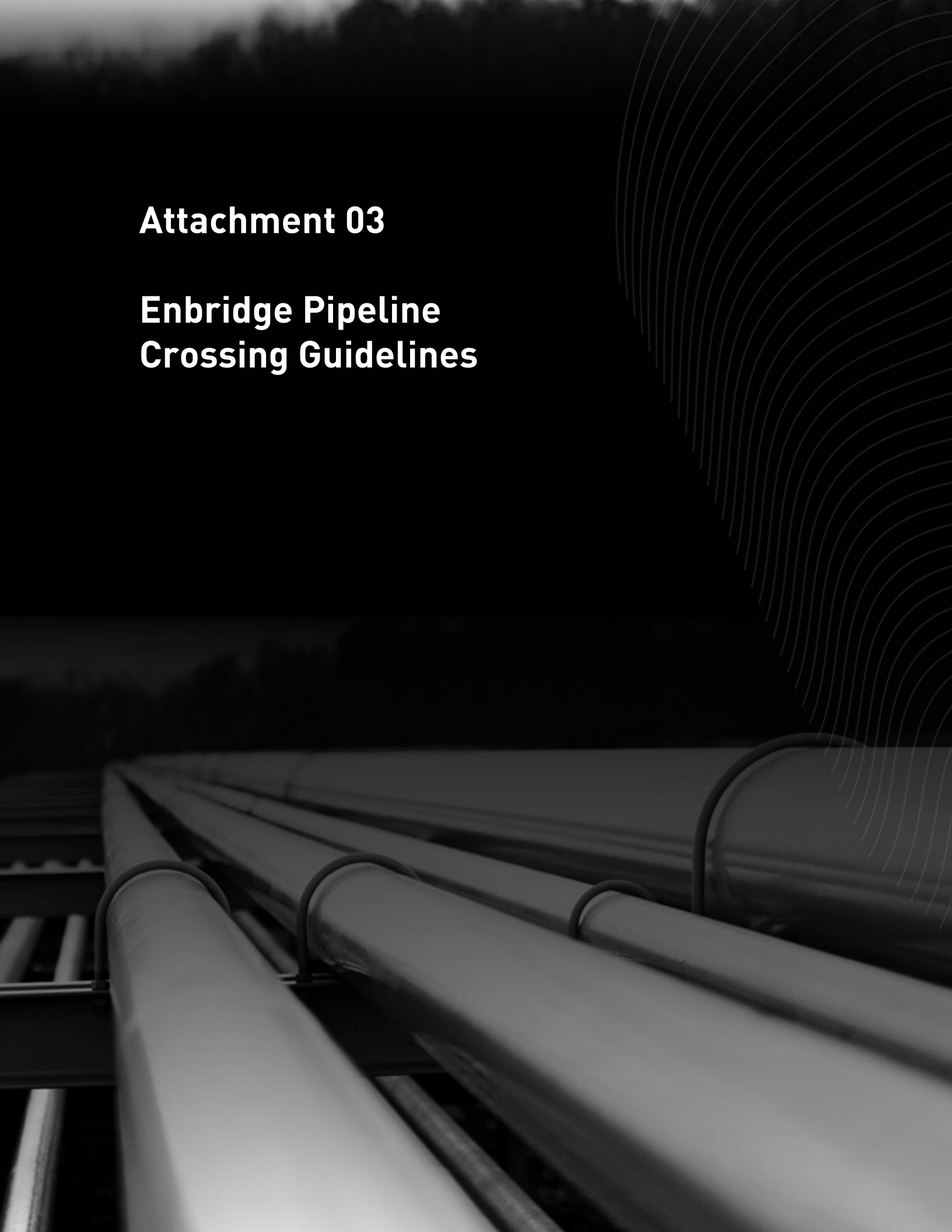
- During construction of the site, temporary fencing must be erected and maintained along the limits of the pipeline right-of-way by the Developer to prevent unauthorized access by heavy machinery. The fence erected must meet Enbridge's specifications concerning type, height and location. The Developer is responsible for ensuring proper maintenance of the temporary fencing for the duration of construction. The Developer is responsible for the cost of material, installation and removal.
- Original depth of cover over the pipeline(s) within Enbridge's pipeline right-of-way shall be restored after construction. This depth of cover over the pipeline(s) shall not be compromised over the life of the Developer's facility due to rutting, erosion or other means.
- In the event Enbridge's pipeline(s) suffer contact damage or other damage as a result of construction, work shall stop immediately and Enbridge to be immediately notified.

Liability

In no event shall Enbridge be liable to the developer and/or landowner(s) for any losses, costs, proceedings, claims, actions, expenses or damages (collectively "Claims") the Developer and/or landowner(s) may suffer or incur as a result of or arising out of the presence of Enbridge pipeline(s) and/or operations on the pipeline right-of-way. The Developer and/or landowner(s) shall be responsible for all costs and expenses incurred to install, repair, replace, maintain or remove the Developer's and/or landowner(s) installations on or near the pipeline right-of-way and shall indemnify and save harmless Enbridge from all Claims brought against, suffered or incurred by Enbridge arising out of the activities of the Developer and/or landowner(s) in respect of the development or arising out of the presence, operation or removal of the Developer's and/or landowner(s) installations on or near Enbridge's pipeline right-of-way.

Attachment 03

Enbridge Pipeline Crossing Guidelines



Enbridge Pipeline Crossing Guidelines, Canada

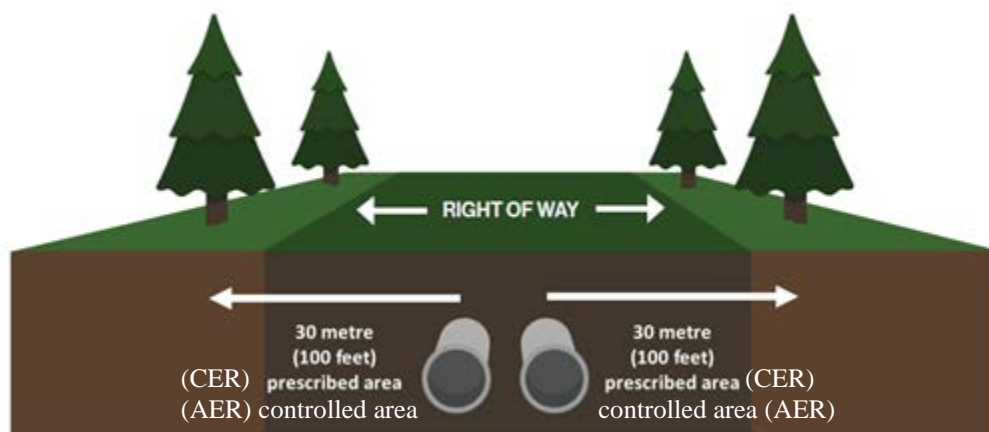
Application Guidance Details
May 2020 v2.0

Application Guidance Details

1. WHO REQUIRES CONSENT?

Consent is governed by the Canada Energy Regulator (CER) for interprovincial or international (federally regulated) pipelines and the Alberta Energy Regulatory (AER) for intra-provincial (provincially regulated) pipelines within the Province of Alberta. To ensure our pipelines and facilities operate safely written consent from Enbridge must be obtained in Canada before any of the following occur:

- ❖ Construction or installation of a new facility across, on, along or under Enbridge's pipeline and/or right-of-way;
- ❖ Ground disturbance activities in the prescribed area (CER) or controlled area (AER) which extends 30m from each side of the centerline of the pipeline;
- ❖ Operation or movement of vehicles, mobile equipment or machinery across Enbridge's right-of-way, outside of the travelled portion of a highway or public road;
- ❖ Using explosives within 300m of Enbridge's pipeline right-of-way;
- ❖ Use of the prescribed area or controlled area for storage or workspace purposes;
- ❖ Subdivision development across, on, along or over Enbridge's pipeline and/or right-of-way;
- ❖ Landowners wishing to install agricultural drainage tile across, on, along or under Enbridge's pipeline and/or right-of-way.



Activities that cause a ground disturbance include, but are not limited to, the following:

- | | |
|---------------------------|---|
| ❖ digging | ❖ clearing and stump removal |
| ❖ excavation | ❖ subsoiling |
| ❖ trenching | ❖ blasting/using explosives |
| ❖ ditching | ❖ quarrying |
| ❖ tunneling | ❖ grinding and milling of asphalt/concrete |
| ❖ boring/drilling/pushing | ❖ seismic exploration |
| ❖ augering | ❖ driving fence posts, bars, rods, pins, anchors or pilings |
| ❖ topsoil stripping | ❖ plowing to install underground infrastructure |
| ❖ land levelling/grading | ❖ crossing of buried pipelines or other underground infrastructure by heavy loads off the travelled portion of a public roadway |
| ❖ tree or shrub planting | ❖ installing agricultural drainage tile |

Under section 2 of the Canadian Energy Regulator Act, ground disturbance does not include:

- ❖ Cultivation to a depth of less than 45cm below the surface of the ground
- ❖ Any activity to a depth of less than 30cm and that does not result in reduction of the depth of earth cover over the pipeline less than that approved at time of construction

2. CROSSING A PIPELINE WITH AN AGRICULTURAL VEHICLE OR MOBILE EQUIPMENT

For pipelines regulated by the Canada Energy Regulator, the *Canadian Energy Regulator Pipeline Damage Prevention Regulations – Authorizations* provides that persons operating agricultural vehicles or mobile equipment across pipelines may do so in low-risk areas, under certain conditions:

- ❖ the loaded axle weight and tire pressures of the vehicle or mobile equipment are within the manufacturer's approved limits and operating guidelines; AND
- ❖ the point of crossing has not been the subject of a notification from the pipeline company that crossing at that location could impair the pipeline's safety or security.

This applies to vehicles or mobile equipment used for agricultural activities in the production of crops and the raising of animals and includes pasturing and cultivation activities such as tillage, plowing, disking and harrowing.

For pipelines regulated by the Alberta Energy Regulator, the *Pipeline Regulation (under the Pipeline Act)* provides that persons operating vehicles or equipment used for farming operations; or use of off-highway vehicles [as defined in section 117(a)(iii) to (viii) of the Traffic Safety Act] or use of private passenger vehicles (as defined in section 1(1)(jj) of the Traffic Safety Act) less than ¾ ton may temporarily cross over an AER regulated pipeline without further approval from Enbridge.

However, if neither of the above requirements can be met then an application must be submitted to Enbridge for further review and processing.

3. HOW TO APPLY FOR ENBRIDGE CONSENT

The applicant must submit a written request, either by completing the Application Form (attached) or a letter with equivalent information, together with the applicable drawing(s) to the respective Enbridge crossings department as set out in the *Contact Us* section of this document.

The drawing(s) must be prepared in accordance with the minimum standards as set out in the *Drawing Requirements* section of this document.

Enbridge's Equipment Specification and Data Sheet (attached) must also be completed for any vehicle/ mobile equipment crossing applications.

For federally regulated pipelines, the applicant may petition the Commission for approval of construction activity if:

- ❖ the applicant cannot comply with the terms and conditions as set out in the company's written consent;
- ❖ the applicant feels the terms and conditions in the company's written consent are excessive; or
- ❖ If the company refused to grant approval to the applicant for reasons of pipeline integrity, public safety or company policy.

An application can be filed with the Commission by writing to:

**Secretary of the Commission
Canada Energy Regulator
Suite 210, 517 – 10th Ave SW
Calgary AB T2R 0A8
Phone: 1-877-288-8803
Online: www.cer-rec.gc.ca**

Applications may be filed with the Commission by mail, courier or facsimile by calling the toll-free number at 1-877-288-8803. Applications can also be uploaded through the CER's Applications and Filings Portal on the CER website at Home / Applications and Filings / Submit Applications and Regulatory Documents / File under the CER Act / OPR: CER Act – Guide C (<http://www.cer-rec.gc.ca/pplctnflng/sbmt/nbpr-eng.html>).

4. DRAWING REQUIREMENTS

The following represents the minimum information that is required to be shown on the drawing(s) in order for Enbridge to review your application. Dimensions must be shown on the drawing(s) and may be done in either imperial or metric units (if metric, then to one decimal point).

NOTE: incomplete drawings and/or an incomplete application will be rejected back to the applicant.

(a) Permanent Installations

All proposed permanent installation drawings MUST contain the following items:

1. Plan Number, including any revision number and the respective date;
2. North Arrow;
3. Scale;
4. Legend;
5. Location indicator including: legal land description, PIN, GPS coordinates;
6. Plan view of whole quarter section or affected area including:
 - ❖ Lot lines, road limits
 - ❖ Proposed facilities (including curbs, footing, guard rails, guy wires, poles, fences, etc.) with tie dimensions to lot survey line preferably along pipeline and/or right-of-way boundary
 - ❖ Location of cathodic test lead terminals (if applicable);
7. Cross section view and/or profile view including:
 - ❖ For surface structures, show profile along pipeline(s) with highest elevation
 - ❖ For underground facilities show profile along facility
 - ❖ Property lines, pipeline(s) and depth of cover
 - ❖ All underground facilities must maintain an even elevation across the entire width of right-of-way except for gravity type facilities or those facilities installed by HDD;
 - ❖ Drill path plan for HDD installations
 - ❖ Unsupported span (m) of Enbridge pipeline for open cut installations
8. Crossing Angle;
9. Crossing location circled in red;
10. Identify all affected Enbridge facilities, right-of-way(s) and pipeline markers;
11. Method of Installation (MOI) (**Refer to Interpretation/Definitions section*);
12. Minimum Clearance (**Refer to Interpretation/Definitions section*);
13. Facility specifications:
 - ❖ PIPE/CABLE: pipe diameter, pipe material, product conveyed, cable size, if cable is within a conduit, conduit material, cable voltage; unsupported span (meters) of existing pipeline if MOI is open cut;
 - ❖ ROAD: width of road, cover at ditch, cover at center of road, surface material, road type/use; design loading calculation; indicate if any Government or Provincial setback requirements
 - ❖ OVERHEAD POWER: pole number(s), location of pole/guy wire/anchors/etc., method of installation of pole/guy wire/anchors/etc., horizontal clearance to pipe from proposed pole/guy wire/anchors/etc., vertical clearance to ground/grade, voltage, type of power (AC/DC), AC mitigation plan may be required;
 - ❖ PIPE RACK: height of pipe rack, pile location(s), pile clearance to Grantor's facility, pile installation method; alternate access route provided for rural locations
 - ❖ DRAINAGE TILE: location of tiles and incremental cost analysis.
14. Complete the Equipment Specification and Data Sheet, when required.

(b) Temporary Activities

All temporary drawings MUST contain the following:

1. Plan Number, including any revision number and the respective date;
2. North Arrow;
3. Scale;
4. Legend;
5. Location indicator including: legal land description, PIN, GPS coordinates;
6. Plan view of whole quarter section or affected area;
7. Temporary activities location circled in red;
8. Identify all affected Enbridge facilities, right of way(s) and/or PLA/easement ownership;
9. Facility specifications:
 - ❖ WORKSPACE: location, measurement of workspace, purpose;
 - ❖ ACCESS OF ROW: location, kilometer usage of ROW, width of access; egress/ingress points, complete the Equipment Specification and Data Sheet (attached);
 - ❖ EQUIPMENT CROSSING: complete the Equipment Specification and Data Sheet (attached);
 - ❖ ROAD USE: indicate road(s) to be utilized, km usage, reason required, frequency of use; complete the Equipment Specification and Data Sheet (attached);
 - ❖ GEOPHYSICAL: project/prospect name, number of reading units/lines, type of source, CER approval required (Y/N).

5. INTERPRETATION / DEFINITIONS

For crossing application purposes, Enbridge defines the following as:

Grantee means the applicant or the facility owner; a company, a person, a municipality or government body, etc.

Method of Installation means OPEN CUT or HDB or HDD; all defined as follows:

OPEN CUT

Enbridge defines open cut as trench methodology wherein access is gained to the required level underground for the proposed installation, maintenance or inspection of a pipe, conduit or cable. The excavated trench is then backfilled and the surface restored.

HORIZONTAL DIRECTIONAL BORE (HDB)

Enbridge defines horizontal directional bore as meeting ALL of the following:

- (a) The designed horizontal distance of the crossing shall be less than or equal to 150m (500ft) in length; AND
- (b) The depth of the pipeline installation shall be limited to 8m (25ft) to the centre (cross-section) of the pilot hole and measured to the corresponding surface location; AND
- (c) Straight alignment in the horizontal plane; AND
- (d) Pilot bit is steerable and trackable.

HORIZONTAL DIRECTIONAL DRILL (HDD)

Enbridge defines horizontal directional drill as an *HDB* that DOES NOT meet all of the criteria for an *HDB*. An *HDD* will satisfy some but not all of: a, b and c above and will satisfy d.

Minimum Clearance means the required distance between the existing Enbridge facility and the proposed facility based on the selected *Method of Installation*.

Minimum clearance required for installation ABOVE Enbridge facility by OPEN CUT is 0.3m
Minimum clearance required for installation BELOW Enbridge facility by OPEN CUT is 0.6m
Minimum clearance required for installation BELOW Enbridge facility by HDB is 1.0m
Minimum clearance required for installation BELOW Enbridge facility by HDD is 3.0m
Minimum clearance required for road installation from bottom of ditch to top of Enbridge facility is 0.9m and from centerline of road to top of Enbridge facility is 1.2m
Minimum clearance required for railway installation from bottom of ditch to top of Enbridge <i>uncased</i> facility is 1.83m and from centerline of rail bed to top of Enbridge <i>uncased</i> facility is 3.05m
Minimum clearance required for railway installation from bottom of ditch to top of Enbridge <i>cased</i> facility is 0.91m and from centerline of rail bed to top of Enbridge <i>cased</i> facility is 1.68m

6. WRITTEN CONSENT

After applying for written consent, Enbridge will review the proposed installation and/or temporary activities application in order to ensure that the proposed work will not pose a risk to existing Enbridge facilities, as well as, to ensure that any access required to existing facilities for maintenance or in an emergency situation will not be impeded.

Some applications may require further engineering assessment which will require additional time to review the proposed installation and/or temporary activities prior to Enbridge issuing consent. All efforts will be made to provide an agreement within an appropriate timeframe, however, please ensure that your application request is submitted with ample lead time.

7. CONTACT US

To obtain written consent from Enbridge, please contact the respective office as set out below:

REGION	CONTACT INFORMATION
LIQUIDS PIPELINES - WESTERN CANADA (Alberta, Saskatchewan, Manitoba and Norman Wells)	Lands & ROW 330, 10180 – 101 Street Edmonton AB T5J 3S4 Email: crossingrequests@enbridge.com Phone: 780-378-2228
LIQUIDS PIPELINES - EASTERN CANADA (Ontario and Quebec)	Lands & ROW 1 st Floor, 1086 Modeland Road, Bldg 1050 Sarnia ON N7S 6L2 Email: est.reg.crossing@enbridge.com Phone: 1-800-668-2951
GAS PIPELINES / STORAGE - BRITISH COLUMBIA	Lands & ROW 200, 425 – 1 Street SW Calgary AB T2P 3L8 Email: crossings@enbridge.com Phone: 587-747-6538

GAS STORAGE - ONTARIO	3501 Tecumseh Road Mooretown ON N0N 1M0 Email: chris.pincombe@enbridge.com Phone: 519-862-6092
GAS PIPELINE - ALLIANCE	Lands & ROW 600, 605 – 5 Ave SW Calgary AB T2P 3H5 Email: crossings@alliancepipeline.com Phone: 403-266-4464

For more information on Enbridge Gas Distribution please click the link: <https://www.enbridgegas.com/gas-safety/pipeline-safety.aspx>

8. ONE CALL CENTRES

Before putting a shovel in the ground, whether it is in your backyard or a commercial jobsite, please do a locate request to safely identify any buried utility lines at www.clickbeforeyoudig.com.

Your local one call centre can also be reached by phone as shown below:

CALL OR CLICK BEFORE YOU DIG!! Contact your respective one-call centre	
British Columbia https://www.bconecall.bc.ca/ 1-800-474-6886	Alberta http://albertaonecall.com 1-800-242-3447
Saskatchewan www.sask1stcall.com 1-866-828-4888	Manitoba http://www.clickbeforeyoudigmb.com/ 1-800-940-3447
Ontario www.on1call.com 1-800-400-2255	Quebec www.info-ex.com 1-800-663-9228
Northwest Territories 1-867-587-7000 Or contact the pipeline company directly	

9. REGULATORS

In Canada, Enbridge has pipelines that are regulated by both the federal government and provincial governments. For more information on any of the regulators please visit their respective website.

Canada Energy Regulator: www.cer-rec.gc.ca

Alberta Energy Regulator: www.aer.ca

10. DEVELOPMENT ON OR NEAR THE RIGHT-OF-WAY

Enbridge should be consulted early in the design phase with regards to proposed subdivisions, roads and utilities, and municipal landscaping.

Subdivisions – Enbridge highly recommends that our right-of-way be used as a passive green space or as part of a linear park system. Permanent structures on the right-of-way are not permissible.

Roads and Utilities – Roads may be permitted to cross and/or run parallel to the right-of-way but no portion of a road allowance can be located on the right-of-way (apart from approved road crossings). Enbridge will review the location of utilities which are often proposed within the road allowance.

Landscaping – Projects such as pedestrian pathways may be permitted as long as they do not impede Enbridge's access along its right-of-way for operational and/or maintenance activities. Enbridge's written consent will specify the permitted landscaping requirements.

11. DAMAGE PREVENTION

Enbridge's underground facilities must be positively identified, to Enbridge's satisfaction, prior to the start of any proposed construction activities.

Enbridge's representative(s) have the authority to stop work at any time due to safety, environmental or operational concerns and/or unforeseen circumstances or emergency situations.

****IMMEDIATELY NOTIFY ENBRIDGE IF YOU COME INTO CONTACT WITH THE PIPE! ****

As a small scratch or dent in the pipeline's coating can impact long term safety of the pipeline and must be assessed by Enbridge.

Please note that obstacles or un-approved above ground installations located on an Enbridge right-of-way, such as sheds, trailers, boats and pools can interfere with Enbridge's access of their right-of-way. Permanent structures on the right-of-way are NOT permissible.

Enbridge must be contacted before conducting any blasting activities within 300m of the pipeline right-of-way so that Enbridge can review the proposed plans in order to see if there might be potential impacts to its facilities. Blasting activities related to prospecting for mines and minerals within 40m of a federally regulated pipeline right-of-way requires permission from the Canada Energy Regulator.

12. EMERGENCY SITUATIONS

In an emergency situation please provide as much notice, as is practicable, to Enbridge prior to commencement of any construction, excavation, installation or temporary crossing of existing pipelines and/or right-of-ways in order to access the emergency site.

Enbridge classifies an emergency situation as:

- ❖ A risk to human life;
- ❖ Required emergency repairs of public services; or
- ❖ To contain an environmental emergency.

In an emergency situation please call: **1-877-420-8800** (toll free) and/or contact your local One Call provider at the numbers listed in section 8.

DISCLAIMER: THESE GUIDELINES ARE INTENDED TO PROVIDE USEFUL CROSSING APPLICATION GUIDANCE INFORMATION TO THE APPLICANT. SUBMISSION OF AN APPLICATION MEETING THE REQUIREMENTS AS SET OUT HEREIN DOES NOT CONSTITUTE WRITTEN CONSENT FROM ENBRIDGE. ALL APPLICATIONS WILL BE REVIEWED BY ENBRIDGE TO DETERMINE WHETHER THE APPLICATION WILL BE APPROVED.

APPLICANT INFORMATION**Grantee* Full Legal Name for Agreement:****Regulator:****Other:****Grantee Address for Service:****Grantor/Enbridge Entity****Application by Broker/Land Consultant**Yes ☐ No ☐**Broker/Land Consultant Name:****Contact Person Name:****Contact Person Phone Number:****File Number:****Broker/Land Consultant Address:****CROSSING INFORMATION****Expected construction start and end date(s):****Permanent Installation** ☐**Temporary Activities** ☐Crossing ☐Drainage Tile ☐Pole/Pile Installation ☐Other ☐Workspace ☐Equipment Crossing ☐Access of ROW ☐Geophysical ☐Road Use ☐Proximity ☐Other ☐**Location indicator including affected legal land description(s), PIN and GPS Coordinates (Latitude and Longitude Decimal Degree):****Grantor's Affected Disposition(s) (Alberta) (i.e. PLA # or License # or Line #):****Grantee's Field Contact Information:**

Name:

Phone:

Email:

Details of Grantee's Proposed Permanent Installation and/or Purpose of Temporary Activities**Method of Installation*** *(For permanent installations)*Open Cut ☐ HDB ☐ HDD ☐**Drawing(s) Attached**Yes ☐ No ☐**Drawing Requirements Met ***Yes ☐ No ☐**Equipment Specification and Data Sheet Attached ***Yes ☐ No ☐ N/A ☐**Notes/Additional Information:****SUBMIT TO:**

LIQUIDS PIPELINES WESTERN CANADA (Alberta, Saskatchewan, Manitoba and Norman Wells)	LIQUIDS PIPELINES EASTERN CANADA (Ontario and Quebec)
Department: Lands & ROW	Department: Lands & ROW
Address: 330, 10180 – 101 Street Edmonton AB T5J 3S4	Address: 1 st Floor, 1086 Modeland Road, Bldg 1050 Sarnia ON N7S 6L2
Email: crossingrequests@enbridge.com	Email: est.reg.crossing@enbridge.com

Equipment Specification and Data Sheet(s)



In order to properly conduct an analysis on the requested crossing the following general information and appropriate data sheets are required to be completed.

Steps:

1. Complete the *Applicant – Information and Details* document for each crossing application
2. Add and complete the *Data Sheet – Equipment or Vehicle with Tires* for EACH piece of equipment
3. Add and complete the *Data Sheet – Equipment with Tracks* for EACH piece of equipment
4. Return fully completed general information and data sheets and any other pertinent information

Applicant Information

Applicant Name:	
Applicant Contact Person Name:	
Email:	
Phone Number:	
Applicant Reference/File Number:	

Details

Description and Purpose of Crossing:				
Location Indicator (legal land description, PIN, etc.)				
GPS Coordinates:(Latitude and Longitude Decimal Degree)				
Duration:	Temporary		Permanent	
Start Date:		End Date:		
Equipment or Vehicle with Tires:	Yes	No	Datasheet:	
Equipment with Tracks:	Yes	No	Datasheet:	

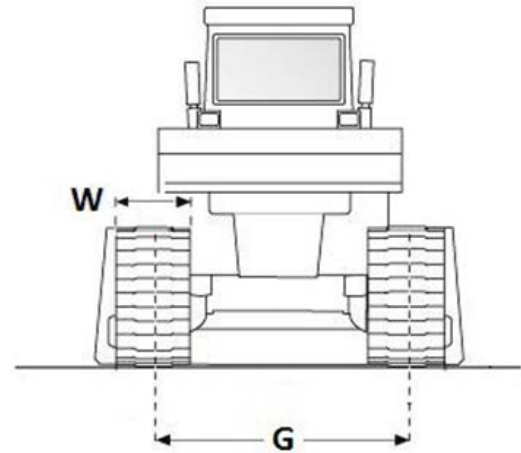
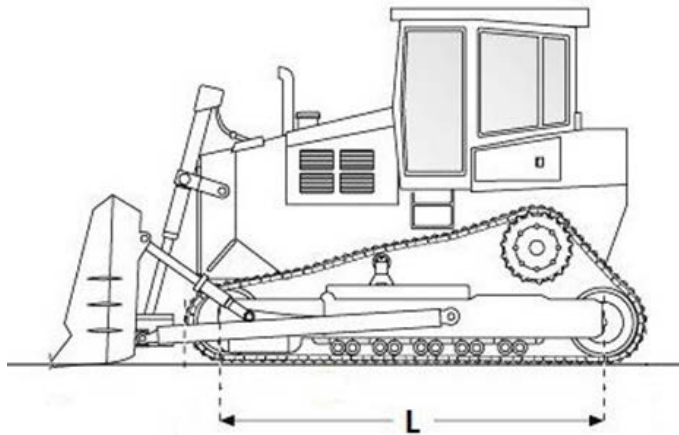
Data Sheet – Equipment with Tracks

Complete this data sheet for each piece of equipment with tracks.

Equipment with Tracks

INDICATE UNITS

Manufacturer:			
Model:			
Equipment Description:			
Fully Loaded Gross Vehicle Weight:			
	Track Shoe Width (refer to W below)	Track Length on Ground (refer to L below)	Track Gauge (on center) (refer to G below)
Units			
Track			



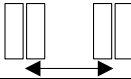
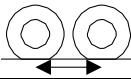
Data Sheet – Equipment or Vehicle with Tires

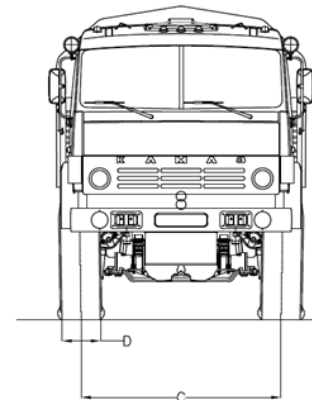
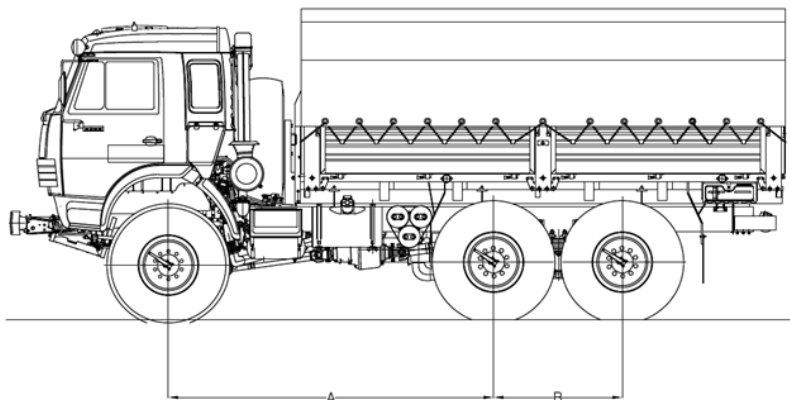
Complete this data sheet for **EACH** piece of equipment or vehicle with tires.

EXCLUSION: pick up trucks of one ton or less

Equipment or Vehicle with Tires

INDICATE UNITS

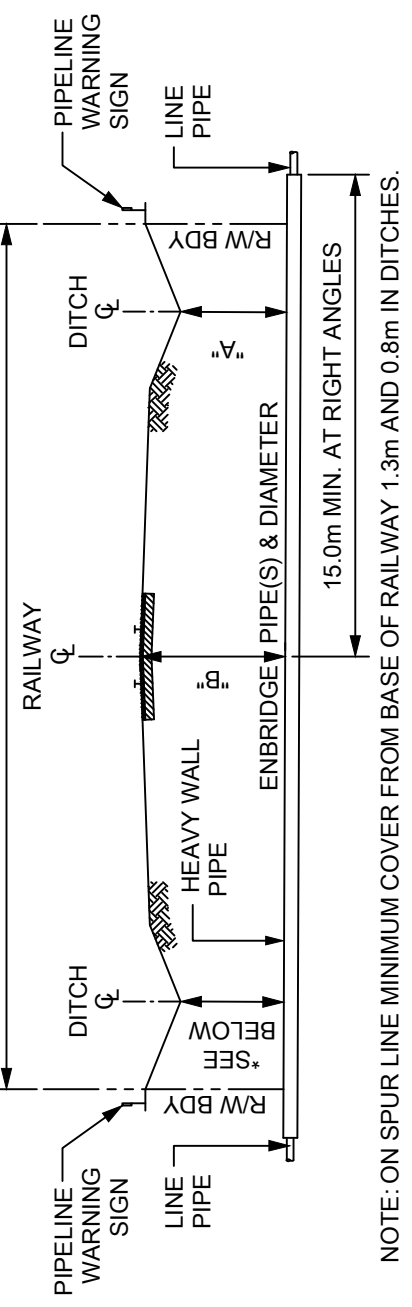
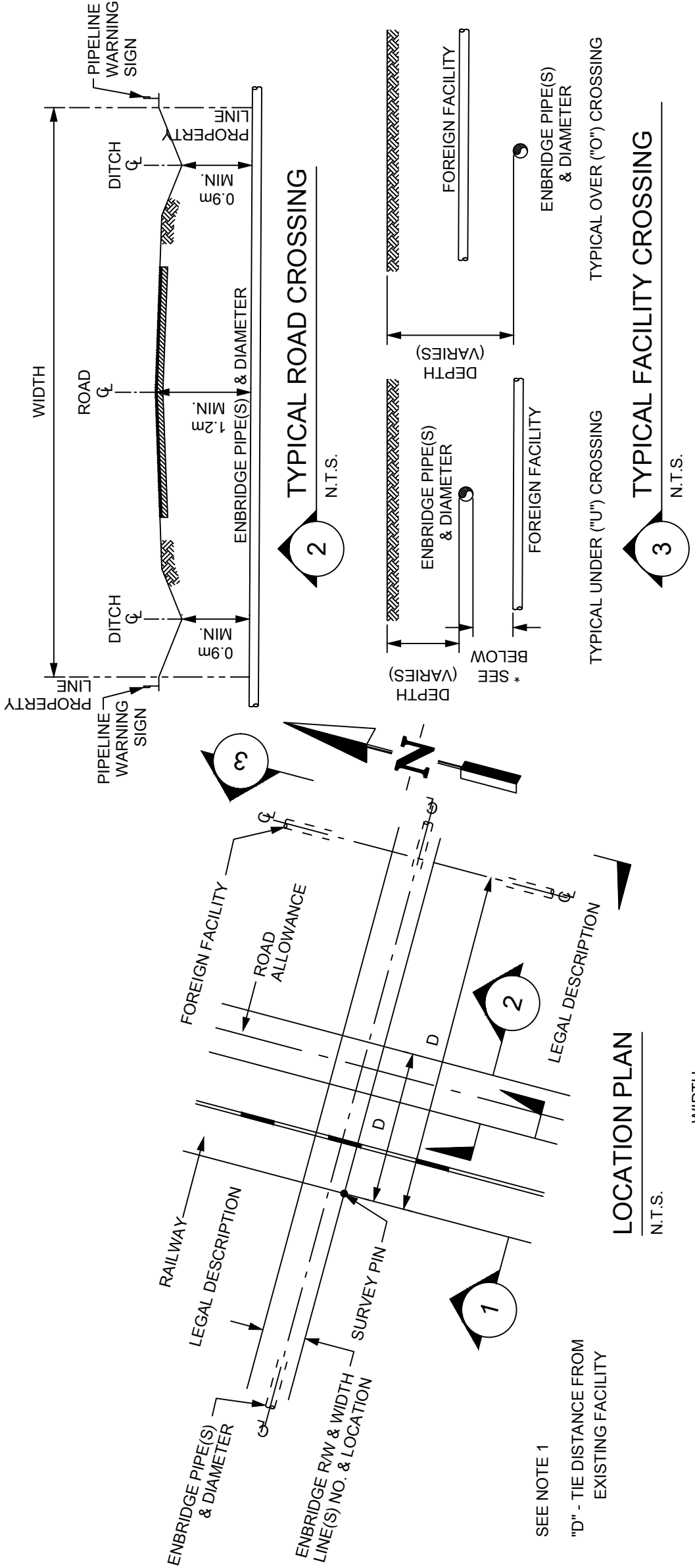
Manufacturer:						
Model:						
Equipment Description:						
Fully Loaded Gross Vehicle Weight:						
Road legal without overweight permit?		Yes			No	
Axle	Maximum Loaded Weight PER Axle	Number of Tires PER Axle	Tire Width (refer to D below)	Tire Pressure	Distance between Tire Set Centerlines (refer to C below) 	Centerline Distance to Previous Axle (refer to A below) (refer to B below) 
Units						
Steering						
2 nd						
3 rd						
4 th						
5 th						
6 th						
7 th						



NOTE:

1.ENBRIDGE PIPELINES
OPERATE UNDER HIGH PRESSURE
THEREFORE ENBRIDGE
REPRESENTATIVE(S) MUST BE
PRESENT DURING CONSTRUCTION.

2.THIS DRAWING IS FOR
REFERENCE ONLY. ACTUAL SITE
DETAILS OR REQUIREMENTS MAY
VARY.



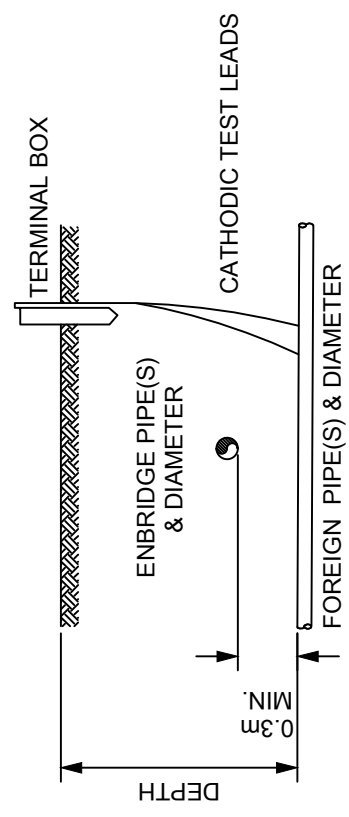
NOTE: ON SPUR LINE MINIMUM COVER FROM BASE OF RAILWAY 1.3m AND 0.8m IN DITCHES.

TYPICAL MAINLINE RAILWAY CROSSING

N.T.S.

* MINIMUM CLEARANCE:			
	"A"	"B"	
CASED	0.91m	1.68m	
UNCASED	1.83m	3.05m	

* MINIMUM CLEARANCE:
-0.3m IF OPEN CUT ABOVE ENBRIDGE PIPES
-0.6m IF OPEN CUT BELOW ENBRIDGE PIPES
-1.0m IF HDD UNDER ENBRIDGE PIPES
-3.0m IF HDD UNDER ENBRIDGE PIPES

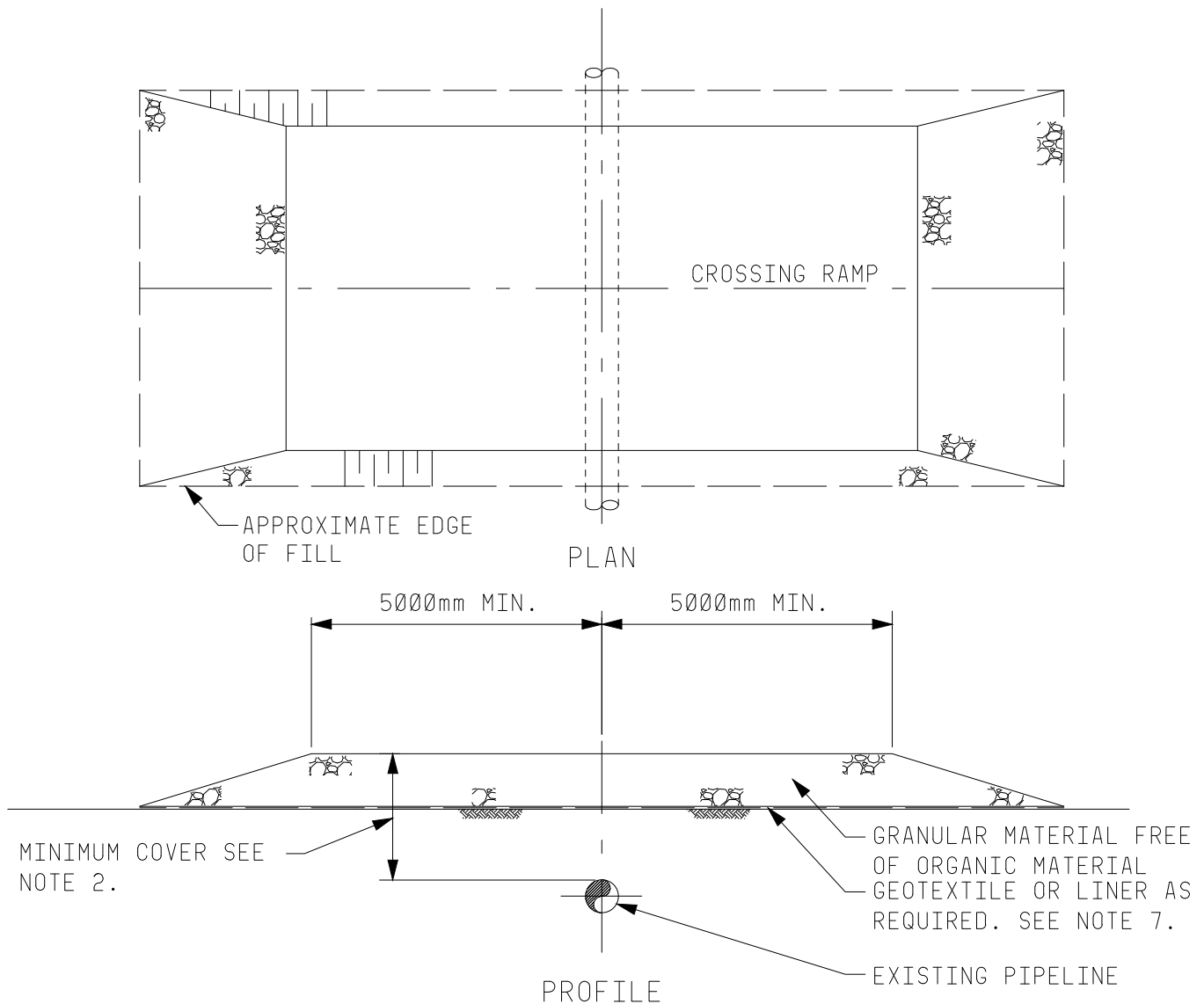


TYPICAL TEST LEAD CONNECTION

N.T.S.

(STEEL PIPELINES)

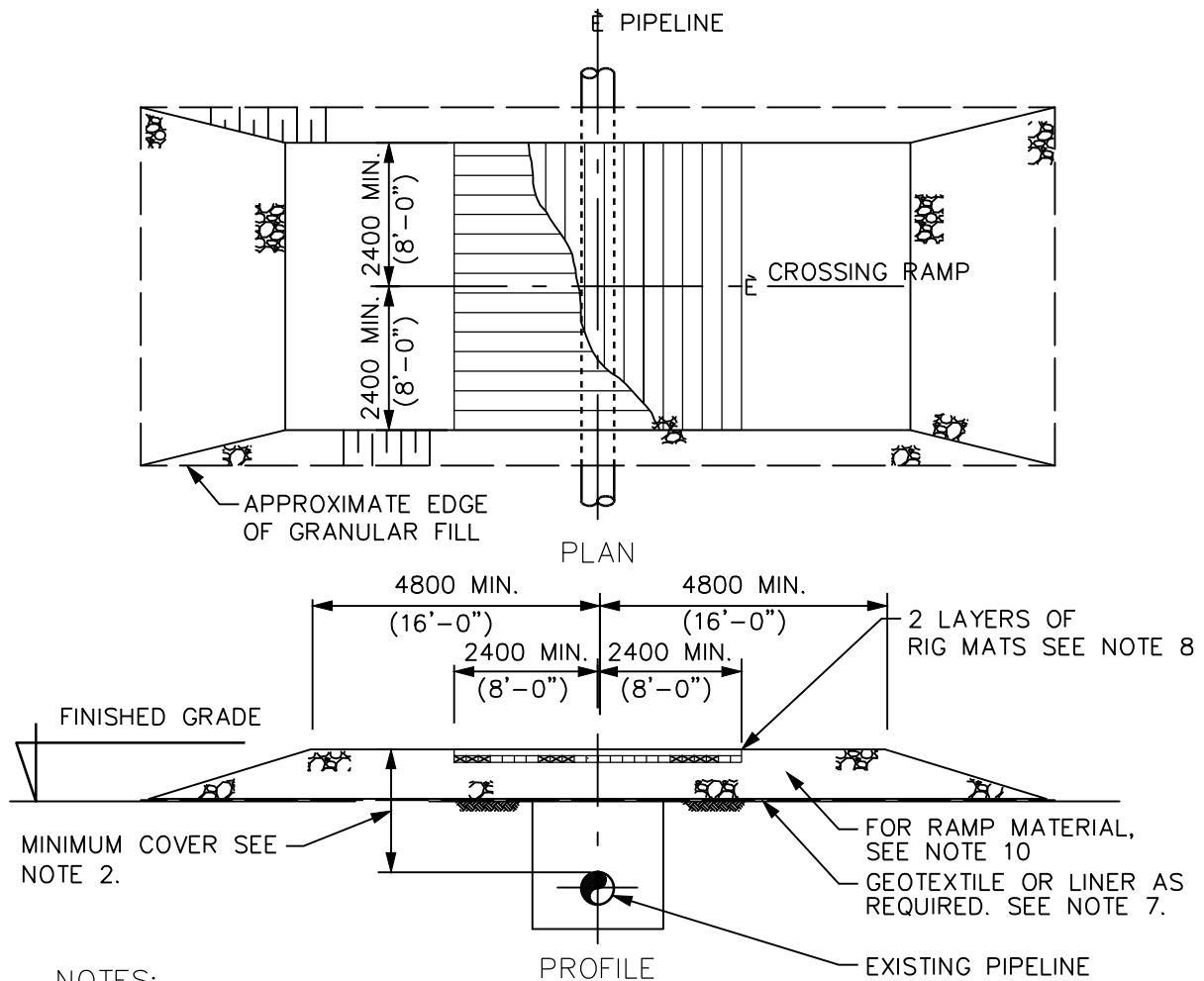
REFERENCE DRAWINGS			
3	AS BUILT	INTERNAL DRAFTING	DR434
			12 AUG 18
			BLB
2	REVISION	CD 02505243 & REVISED AS PER SAWMILL	08 APR 13
			DRD/TD
1	REVISED	AS PER OPERATIONS INFORMATION	05 MAY 10
			DRD/TD
DES	DESIGN	DATE	CHK
NO	DESCRIPTION	BY	APPR
COPYRIGHT © THIS DRAWING IS THE PROPERTY OF ENBRIDGE AND SHALL NOT BE REPRODUCED EITHER IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF ENBRIDGE.			
TYPICAL CROSSING DETAILS FOR THIRD PARTY APPLICANTS CROSSING ENBRIDGE PIPELINES CANADA			
BY/ME	CHK: EH	ENG: HCF/ROST	ENB APPR: GAF/ALLDER
DATE: 30 AUG 88	SCALE: 1/8"	STATUS: AS BUILT	
DWG NO:	B-1.02-5052-0		REV NO: 3



NOTES:

1. ON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL REMOVE COMPLETE RAMP AND RESTORE AREA TO ORIGINAL CONDITION.
2. MINIMUM COVER SHALL BE AS SPECIFIED IN THE CROSSING AGREEMENT.
3. LENGTH OF RAMP TO VARY IN ACCORDANCE WITH CROSSING ANGLE.
4. RAMP WIDTH SHALL BE MINIMIZED AS MUCH AS POSSIBLE, AND SHALL NOT ENCROACH BOUNDARIES SET IN THE CROSSING AGREEMENT.
5. RAMP SIDE SLOPE SHALL NOT BE STEEPER THAN 1V:4H.
6. RAMP SHALL BE COMPACTED, AND HAVE A CROSS FALL TO ENSURE THAT WATER WILL NOT POND ON THE RAMP CAUSING EXCESSIVE RUTTING.
7. A GEOTEXTILE OR LINER BARRIER TO BE INSTALLED AT THE DISCRETION OF THE ENBRIDGE FIELD REPRESENTATIVE.
8. REFER TO DRAWING A-1.8-43105 FOR FRENCH VERSION.
REFERE AU DESSIN A-1.8-43105 POUR VERSION FRANCAISE.

A-1.8-43105-0		TYPICAL DESIGN DETAIL			
REFERENCE DRAWINGS					
2	FRENCH TRANSLATION REFERENCE AS PER IDR 583	2019 JAN 11	BLB	ENB	
1	AS BUILT INTERNAL DRAFTING ID 304	20 MAR 18	GB	ENBRIDGE	
REV NO.	REVISION DESCRIPTION	DATE BY	CHK	APPR.	
COPYRIGHT © THIS DRAWING IS THE PROPERTY OF ENBRIDGE AND SHALL NOT BE REPRODUCED EITHER IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF ENBRIDGE.					
ENBRIDGE					
TYPICAL DESIGN DETAIL TYPICAL TEMPORARY CROSSING RAMP WITH EARTH					
BY: GB	CHK: GG	ENG. :	ENB APPR:		
DATE: 14 FEB 18	SCALE: NTS	STATUS: AS BUILT			
DWG. NO.:	A-1.8-42872-0				REV. NO. 2



NOTES:

- ON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL REMOVE COMPLETE RAMP AND RESTORE AREA TO ORIGINAL CONDITION.
- MINIMUM COVER SHALL BE AS SPECIFIED IN THE CROSSING AGREEMENT.
- LENGTH OF RAMP TO VARY IN ACCORDANCE WITH CROSSING ANGLE.
- RAMP WIDTH SHALL BE MINIMIZED AS MUCH AS POSSIBLE, AND SHALL NOT ENCROACH BOUNDARIES SET IN THE CROSSING AGREEMENT.
- RAMP SIDE SLOPE SHALL NOT BE STEEPER THAN 1V:4H.
- RAMP SHALL BE COMPACTED, AND HAVE A CROSS FALL TO ENSURE THAT WATER WILL NOT POND ON THE RAMP CAUSING EXCESSIVE RUTTING.
- A GEOTEXTILE OR LINER BARRIER TO BE INSTALLED DURING SPRING, SUMMER AND FALL SEASONS.
- RIG MATS SHALL BE STAGGERED OR PLACED IN A PERPENDICULAR ORIENTATION FROM THE PREVIOUS LAYER SO THAT THE EDGES DO NOT LINE UP
- ALL DIMENSIONS ARE IN mm UNLESS OTHERWISE NOTED
- SNOW OR ICE CAN BE USED AT THE DISCRETION OF THE ENBRIDGE FIELD REPRESENTATIVE.
- REFER TO DRAWING A-1.8-43106 FOR FRENCH VERSION.
REFERE AU DESSIN A-1.8-43106 POUR VERSION FRANCAISE.

A-1.8-43106-0				TYPICAL DESIGN DETAIL			
REFERENCE DRAWINGS							
3	AS BUILT DR. IDR 743	20 JUN 19	MF	AE	ENB		
2	FRENCH TRANSLATION REFERENCE	11 JAN 19	MM	BLB	ENB		
1	AS BUILT INTERNAL DRAFTING ID 304	20 MAR 18	BLB	GB	ENBRIDGE		
REV. NO.	REVISION DESCRIPTION	DATE	BY	CHK	APPR.		
COPYRIGHT IS THIS DRAWING IS THE PROPERTY OF ENBRIDGE AND SHALL NOT BE REPRODUCED EITHER IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN CONSENT OF ENBRIDGE.							
ENBRIDGE							
TYPICAL DESIGN DETAIL TYPICAL TEMPORARY CROSSING RAMP WITH RIG MATS							
BY: GB	CHK: GG	ENG.:		ENB	APPR:		
DATE:	14 FEB 18	SCALE: NTS		STATUS: AS BUILT			
DWG. NO.:	A-1.8-42873-0					REV. NO.:	3

From: [iplanning](#)
To: [Fazio, Margaret](#)
Subject: FW: Hydro One Response: 20231214-NoticeOfCompletion-Airport Employment Growth District Transportation Master Plan Update
Date: Wednesday, January 3, 2024 9:00:27 AM
Attachments: [20231214-NoticeOfCompletion-Airport Employment Growth District Transportation Master Plan Update.pdf](#)

From: SUN Hongxia <Susan.SUN@HydroOne.com> On Behalf Of SECONDARY LAND USE Department
Sent: Thursday, December 14, 2023 9:33 AM
To: iplanning <iplanning@hamilton.ca>
Cc: SECONDARY LAND USE Department <Department.SecondaryLandUse@hydroone.com>
Subject: Hydro One Response: 20231214-NoticeOfCompletion-Airport Employment Growth District Transportation Master Plan Update

Please see the attached for Hydro One's Response.

Hydro One Networks Inc

SecondaryLandUse@HydroOne.com

December 14, 2023

Re: Airport Employment Growth District Transportation Master Plan Update

Attention:
Margaret Fazio
Senior Project Manager
City of Hamilton

Thank you for sending us notification regarding (Airport Employment Growth District Transportation Master Plan Update). In our assessment, we have confirmed that Hydro One has existing high voltage Transmission facilities within your study area. At this time we do not have sufficient information to comment on the potential resulting impacts that your project may have on our infrastructure. As such, we must stay informed as more information becomes available so that we can advise if any of the alternative solutions present actual conflicts with our assets, and if so; what resulting measures and costs could be incurred by the proponent. Note that this response does not constitute approval for your plans and is being sent to you as a courtesy to inform you that we must continue to be consulted on your project.

In addition to the existing infrastructure mentioned above, the applicable transmission corridor may have provisions for future lines or already contain secondary land uses (e.g., pipelines, watermains, parking). Please take this into consideration in your planning.

Also, we would like to bring to your attention that should (Airport Employment Growth District Transportation Master Plan Update) result in a Hydro One station expansion or transmission line replacement and/or relocation, an Environmental Assessment (EA) will be required as described under the Class Environmental Assessment for Minor Transmission Facilities (Hydro One, 2016). This EA process would require a minimum of 6 months for a Class EA Screening Process (or up to 18 months if a Full Class EA were to be required) to be completed. Associated costs will be allocated and recovered from proponents in accordance with the Transmission System Code. If triggered, Hydro One will rely on studies completed as part of the EA you are current undertaking.

Consulting with Hydro One on such matters during your project's EA process is critical to avoiding conflicts where possible or, where not possible, to streamlining processes (e.g., ensuring study coverage of expansion/relocation areas within the current EA). Once in receipt of more specific project information regarding the potential for conflicts (e.g., siting, routing), Hydro One will be in a better position to communicate objections or not objections to alternatives proposed.

If possible at this stage, please formally confirm that Hydro One infrastructure and associated rights-of-way will be completely avoided, or if not possible, allocate appropriate lead-time in your project schedule to collaboratively work through potential conflicts with Hydro One, which ultimately could result in timelines identified above.

In planning, note that developments should not reduce line clearances or limit access to our infrastructure at any time. Any construction activities must maintain the electrical clearance from the transmission line conductors as specified in the Ontario Health and Safety Act for the respective line voltage.

Be advised that any changes to lot grading or drainage within, or in proximity to Hydro One transmission corridor lands must be controlled and directed away from the transmission corridor.

Please note that the proponent will be held responsible for all costs associated with modifications or relocations of Hydro One infrastructure that result from your project, as well as any added costs that may be incurred due to increased efforts to maintain said infrastructure.

We reiterate that this message does not constitute any form of approval for your project. Please note that your project may require you to submit a Property Management Proposal (PMP) for Hydro One to fully assess the impact to our assets. To learn more about this process please visit [Secondary Land Uses \(hydroone.com\)](http://hydroone.com/SecondaryLandUses)

Sent on behalf of,

**Secondary Land Use
Asset Optimization
Strategy & Integrated Planning
Hydro One Networks Inc.**

From: [Fazio, Margaret](#)
To: [Williams.todde@gmail.com](#); [tworowarchaeology@gmail.com](#); [info@hdi.land](#)
Cc: [Shams, Omar](#); [Molloy, Steve](#); [DiDomenico, Jennifer](#); [Dockstator, Beth](#); [Yip, Patrick](#)
Subject: Follow up RE: AEGD TMP Update - Notice of Completion and 30 day Review -Haudenosaunee Confederacy of Chiefs Council
Date: Tuesday, January 16, 2024 4:56:00 PM
Attachments: [FINAL Notice of Study Completion - AEGD TMP Update 2023.pdf](#)
[image002.png](#)
[image003.png](#)
[Letter 1 - Haudenosaunee.pdf](#)

Hello,

We are following up on the original email below (and attached) notice, to inquire whether anyone in your community has any questions or comments on the project content, process, etc.

One attempt was made today to call you at the general number 1-519-445-4222 today, but there was nobody on the line and no opportunity to leave a voice mail. This e-mail is intended to follow up instead and offer an opportunity for further to dialogue on the above project.

We also wanted to provide an update to the attached Notice and accompanying letter, in that the Airport Employment Growth District's Transportation Master Plan Update is now intended to fulfill the Municipal Class Environmental Assessment (EA) Master Plan Approach #1, instead of a combination of approaches, as originally stated.

The Master Plan is now deemed to be fulfilling Phase 1 and preliminary Phase 2 requirements, which translates to the study providing only broad information, and will be used as support for subsequent Schedule B and C project specific studies. There are therefore no Schedule B projects which are appealable currently. The Master Plan is intended to be followed up by subsequent studies within the study area, which will allow further opportunity for engagement on specific roadway links, fulfilling Phases 2 – 4 of the EA process.

Please advise if you have any questions or comments.

Omar Shams and Margaret Fazio

Margaret Fazio E.P., RPP and MCIP
Senior Project Manager, Infrastructure Planning
Planning and Economic Development
City of Hamilton
71 Main Street West, 6th Floor, L8P 4Y5
Phone 905-546-2424 ext. 2218
Email: margaret.fazio@hamilton.ca



From: Holden, Gina <Gina.Holden@hamilton.ca>

Sent: Tuesday, November 28, 2023 10:54 AM

To: Williams.todde@gmail.com; tworowarchaeology@gmail.com; info@hdi.land

Cc: Shams, Omar <Omar.Shams@hamilton.ca>; Molloy, Steve <Steve.Molloy@hamilton.ca>; Norman, Gavin <Gavin.Norman@hamilton.ca>; DiDomenico, Jennifer <Jennifer.DiDomenico@hamilton.ca>; Dockstator, Beth <Beth.Dockstator@hamilton.ca>; Fazio, Margaret <Margaret.Fazio@hamilton.ca>

Subject: AEGD TMP Update - Notice of Completion and 30 day Review -Haudenosaunee Confederacy of Chiefs Council

Sent on behalf of Omar Shams and Margaret Fazio, of the City of Hamilton.

City of Hamilton staff have completed the Airport Employment Growth District Transportation Master Plan Update.

More details can be found in the attached: Letter and published Notice of Completion.

Please advise if you have any comments or questions to the staff mentioned in the letter and notice.

Thank you – Miigwech!

Gina Holden

Admin Secretary

Planning and Economic Development

Infrastructure Planning and Legislative Approvals

City of Hamilton

(905) 546-2424 Ext.4147

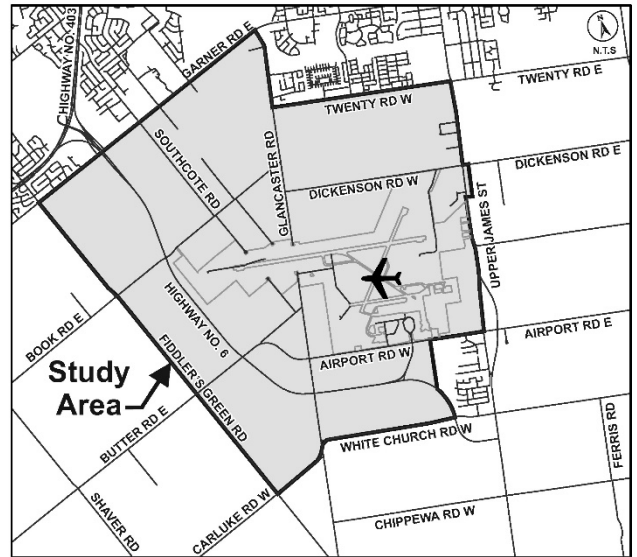


Notice of Study Completion – Airport Employment Growth District Transportation Master Plan Update (2023)

The City of Hamilton has completed the Airport Employment Growth District Transportation Master Plan Update (AEGD-TMP Update) Municipal Class Environmental Assessment (EA) Study. The AEGD TMP Update identifies policies, programs and infrastructure improvements needed to manage both existing and future transportation demand for the business park.

Environmental Assessment Process

This Transportation Master Plan was undertaken in accordance with the master planning process of the Municipal Engineers Association's Municipal Class Environmental Assessment Document (MCEA, 2001, last amended 2023). The 2023 AEGD TMP Update fulfills requirements of the Approaches 1 and 2 of the master planning process. As a result, Schedule B projects listed below are currently subject to appeal and Schedule C projects will be subject to appeal after completion of subsequent phases of the EA process.



Project Location	EA Schedule
Glancaster Road widening (Arterial 1N to Airport Boundary)	B
Collector 9W (Garner Road East to Collector 11N)	B
Smith Road (Arterial 1N to Airport Boundary)	B
Airport Road (Airport Terminal Access Road to East Cargo Road)	B
Collector 11N (Fiddlers Green Road to Collector 9W)	B

A Project File Report for the AEGD TMP Update provides a full account of the planning and decision-making processes associated with the revised multimodal transportation network. This Report also outlines the updated network phasing and the anticipated timeline for implementation of each project, along with the additional EA study requirements.

Public Comment Period

By this notice, the AEGD TMP Update report is being placed on the public record for a minimum 30-day review period, starting on November 17, 2023.

The AEGD TMP Update Project File Report and appendices are available on the project web page at <https://engage.hamilton.ca/aegd-tmp>, and at the following municipal locations:

- The Municipal Clerk's Office, City Hall**
1st Floor - 77 Main Street West, Hamilton, ON L8P 4Y5
- Hamilton Public Library, Mount Hope Branch**
3027 Homestead Dr, Mount Hope, ON L0R 1W0

Written comments will be accepted until January 5, 2024. All comments and concerns should be addressed to City of Hamilton staff listed below:

Appeal (Section 16 Order) Process:

Margaret Fazio, E.P., MCIP, RPP

Senior Project Manager – Growth Management
City of Hamilton

iplanning@hamilton.ca

905 546-2424, ext. 2218

Omar Shams, B-Tech, C.E.T.

Project Manager – Transportation Planning
City of Hamilton

Transportation@hamilton.ca

905 546-2424, ext. 7474

A request requiring a higher level of study, or that conditions be imposed on the grounds that the requested order may prevent, mitigate, or remedy adverse impacts on constitutionally protected Indigenous Rights and Treaties may be made. Requests on other grounds will not be considered.

A Request for such an Order (Under Section 16) must be submitted by January 5, 2024, to the Ministry of the Environment, Conservation and Parks (contacts noted below) and copied to City of Hamilton contacts in this Notice, and must include:

- requester's name and contact information,
- type of the Order (request for conditions or a request for an individual/comprehensive environmental assessment),
- how the Order may prevent, mitigate, or remedy potential adverse impacts on Indigenous Rights and Treaties, and
- any information in support of the statements in the request.

Minister, Environment, Conservation and Parks

Ministry of Environment, Conservation and Parks
777 Bay Street, 5th Floor
Toronto, ON M7A 2J3

Minister.mecp@ontario.ca

Director, Environmental Assessment Branch

Ministry of the Environment, Conservation and Parks
135 St. Clair Ave. W, 1st Floor
Toronto, ON M4V 1P5

EABDirector@ontario.ca

For more information on requests for orders under Section 16 of the Environmental Assessment Act visit: <https://www.ontario.ca/page/class-environmental-assessments-section-16-order>

Information will be collected in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Except for personal information, all comments will become part of the public record.

This notice was issued on November 17, 2023



Hamilton

Planning and Economic Development Department
Growth Management Division,
71 Main Street West, 6th Floor
Hamilton, Ontario L8P 4Y5
Phone: 905.546.2424 Fax: 905.540.5611
Email: iplanning@hamilton.ca

Todd Williams, Program Coordinator
Haudenosaunee Development Institute (HDI)
Haudenosaunee Confederacy of Chiefs Council
16 Sunrise Court, Suite 600
PO Box 714
Oshweken, ON N0A 1M0

November 28, 2023

Dear Todd Williams:

**Subject: Airport Employment Growth District Transportation Master Plan Update (2023)
- Notice of Study Completion**

The City of Hamilton has completed the Airport Employment Growth District Transportation Master Plan Update (AEGD-TMP Update) Municipal Class Environmental Assessment (EA) Study, in regards of which you have been engaged with on e.g., Notice of Commencement and Public Information Centre #1. The AEGD TMP Update identifies policies, programs and infrastructure improvements needed to manage both existing and future transportation demand for the business park.

Environmental Assessment Process

This Transportation Master Plan was undertaken in accordance with the master planning process of the Municipal Engineers Association's Municipal Class Environmental Assessment Document (MCEA, 2001, last amended 2023). The 2023 AEGD TMP Update fulfills requirements of the Approaches 1 and 2 of the master planning process. As a result, Schedule B projects listed below are currently subject to appeal and Schedule C projects will be subject to appeal after completion of subsequent phases of the EA process.

Project Location	EA Schedule
Glancaster Road widening (Arterial 1N to Airport Boundary)	B
Collector 9W (Garner Road East to Collector 11N)	B
Smith Road (Arterial 1N to Airport Boundary)	B
Airport Road (Airport Terminal Access Road to East Cargo Road)	B
Collector 11N (Fiddlers Green Road to Collector 9W)	B

A Project File Report for the AEGD TMP Update provides a full account of the planning and decision-making processes associated with the revised multimodal transportation network. This Report also outlines the updated network phasing and the anticipated timeline for implementation of each project, along with the additional EA study requirements.

The Archaeological Stage 1 Report, as well as the Built Cultural Heritage and Cultural Landscape Inventory have been completed and are appended to the Project File Report. The Natural Heritage Inventories and subsequent Stages of Archaeology, where applicable, are intended to be completed during subsequent Phases of the EA process, Detailed Design or Planning application processes.

Public Comment Period

The AEGD TMP Update report is placed on the public record for a minimum 30-day review period, starting November 17, 2023.

The AEGD TMP Update Project File Report and appendices are available on the project web page at <https://engage.hamilton.ca/aegd-tmp>, and at the following municipal locations:

1. The Municipal Clerk's Office, City Hall

1st Floor - 77 Main Street West, Hamilton, ON L8P 4Y5

2. Hamilton Public Library, Mount Hope Branch

3027 Homestead Dr, Mount Hope, ON L0R 1W0

Written comments will be accepted until January 5, 2024. We would be happy to arrange a meeting at your convenience, to discuss the project, its final outcomes, and any issues or comments specific to your Community.

If you have any questions or comments about the project or wish to schedule a meeting, please advise the staff listed below:

Margaret Fazio, E.P., MCIP, RPP

Senior Project Manager – Growth Management
City of Hamilton
iplanning@hamilton.ca
905 546-2424, ext. 2218

Omar Shams, B-Tech, C.E.T.

Project Manager – Transportation Planning
City of Hamilton
Transportation@hamilton.ca
905 546-2424, ext. 7474

If there are any unresolved issues after contacting the above-mentioned staff, you are welcome to exercise the Appeal (Section 16 Order) Process:

A request requiring a higher level of study, or that conditions be imposed on the grounds that the requested order may prevent, mitigate, or remedy adverse impacts on constitutionally protected Indigenous Rights and Treaties may be made. Requests on other grounds will not be considered.

A request for such an Order (Under Section 16) must be submitted by January 5, 2024, to the Ministry of the Environment, Conservation and Parks (contacts noted below) and copied to City of Hamilton contacts in this letter, and must include:

- requester's name and contact information,
- type of the Order (request for conditions or a request for an individual/comprehensive environmental assessment),
- how the Order may prevent, mitigate, or remedy potential adverse impacts on Indigenous Rights and Treaties, and
- any information in support of the statement in the request.

Minister, Environment, Conservation and Parks

Ministry of Environment, Conservation and Parks

777 Bay Street, 5th Floor

Toronto, ON M7A 2J3

Minister.mecp@ontario.ca

Director, Environmental Assessment Branch

Ministry of the Environment, Conservation and
Parks

135 St. Clair Ave. W, 1st Floor

Toronto, ON M4V 1P5

EABDirector@ontario.ca

For more information on requests for orders under Section 16 of the Environmental Assessment Act visit: <https://www.ontario.ca/page/class-environmental-assessments-section-16-order>

Information will be collected in accordance with the Municipal Freedom of Information and Protection of Privacy Act. Except for personal information, all comments will become part of the public record.

This notice was issued on November 17, 2023

miigwech,



Margaret Fazio. B.Sc., E.P., RPP, MCIP

Senior Project Manager, Infrastructure Planning,

Planning and Development Department, City of Hamilton, Tel: 905-546-2424 ext.2218

cc.

Omar Shams, Project Manager, Transportation Planning

Steve Molloy, Manager, Transportation Planning

Gavin Norman, Manager, Growth Management

Jennifer DiDomenico, Senior Project Manager, Urban Indigenous Relations

Beth Dockstator, Manager, Indigenous Relations

From: [Shams, Omar](#)
To: [Peter Graham](#)
Cc: tanyahill-montour@sixnations.ca; [Fazio, Margaret](#)
Subject: AEGD TMP Update - Notice of Completion and 30 day Review and Strategic Transportation Network Review Notice of PIC 2
Date: Tuesday, January 30, 2024 2:08:32 PM
Attachments: [image001.png](#)

Hello Peter,

It was nice talking to you this morning with respect to the AEGD TMP update notice of complete and the Hamilton Strategic Transportation Network Review notice of PIC 2.

AEGD TMP Update:

As discussed, the Airport Employment Growth District's Transportation Master Plan Update is now intended to fulfill the Municipal Class Environmental Assessment (EA) Master Plan Approach #1, instead of a combination of approaches, as originally stated.

The Master Plan is now deemed to be fulfilling Phase 1 and preliminary Phase 2 requirements, which translates to the study providing only broad information and will be used as support for subsequent Schedule B and C project-specific studies. There are therefore no Schedule B projects which are appealable currently. The Master Plan is intended to be followed up by subsequent studies within the study area, which will allow further opportunity for engagement on specific roadway links, fulfilling Phases 2 – 4 of the EA process.

Strategic Transportation Network Review:

The strategic transportation network review is an update to the road, transit, and active transportation projects identified in the City's 2018 Transportation Master Plan and the City's Growth-Related Integrated Development Strategy (GRIDS 2) to reflect a 2041 planning horizon with consideration for 2041 - 2051. The strategic network review also serves as input to the 2024 Development Charges by-law update.

The draft STNR report can be accessed via the link below:

https://www.hamilton.ca/sites/default/files/2023-12/Strategic-Transportation-Network_Review-Appendix-H-Services-Relate-to-Highway%26Transit.pdf.

More information can be obtained on the project page <https://engage.hamilton.ca/stnr>.

Please let us know if you have any questions or wish to provide additional comments on any of the above projects.

Best Regards,

Omar Shams and Margaret Fazio

Omar Shams, B-Tech, C.E.T.

Project Manager, Transportation Planning - New Initiatives
Planning and Economic Development
Transportation Planning and Parking, City of Hamilton
(905) 546-2424 Ext.7474



From: [Shams, Omar](#)
To: Adam.LaForme@mncfn.ca
Cc: [Fazio, Margaret](#); MCFN.Consultation@mncfn.ca; DOCA.Admin@mncfn.ca; [Fazio, Margaret](#)
Subject: AEGD TMP Update - Notice of Completion and 30 day Review and Strategic Transportation Network Review Notice of PIC 2
Date: Thursday, February 8, 2024 11:43:54 AM
Attachments: [image001.png](#)

Hello Adam

We hope this email finds you well.

We called your office to follow up on the Notice of Completion and 30-day public review for the AEGD TMP update and the Notice of PIC 2 for the Hamilton Strategic Transportation Network Review. Unfortunately, you were out of the office, so we will follow up again to connect with you and receive your feedback for these two projects.

Meanwhile, we would like to offer the following updates:

AEGD TMP Update:

As discussed, the Airport Employment Growth District's Transportation Master Plan Update is now intended to fulfill the Municipal Class Environmental Assessment (EA) Master Plan Approach #1, instead of a combination of approaches, as originally stated in the Notice of Completion.

The Master Plan is now deemed to be fulfilling Phase 1 and preliminary Phase 2 requirements, which translates to the study providing only broad information and will be used as support for subsequent Schedule B and C project-specific studies. There are therefore no Schedule B projects which are appealable currently. The Master Plan is intended to be followed up by subsequent studies within the study area, which will allow further opportunity for engagement on specific roadway links, fulfilling Phases 2 – 4 of the EA process.

Strategic Transportation Network Review:

The strategic transportation network review is an update to the road, transit, and active transportation projects identified in the City's 2018 Transportation Master Plan and the City's Growth-Related Integrated Development Strategy (GRIDS 2) to reflect a 2041 planning horizon with consideration for 2041 - 2051. The strategic network review also serves as input to the 2024 Development Charges by-law update.

The draft STNR report can be accessed via the link below:

https://www.hamilton.ca/sites/default/files/2023-12/Strategic-Transportation-Network_Review-Appendix-H-Services-Relate-to-Highway%26Transit.pdf.

More information can be obtained on the project page <https://engage.hamilton.ca/stnr>.

We will try to reconnect with you in the coming week to discuss any treaty rights issues and/or how these projects may impact your nation's interests.

Best Regards,

Margaret Fazio and Omar Shams

Omar Shams, B-Tech, C.E.T. (He/Him)

Project Manager, Transportation Planning - New Initiatives

Planning and Economic Development

Transportation Planning and Parking, City of Hamilton

(905) 546-2424 Ext.7474



**Ministry of Citizenship
and Multiculturalism**

Heritage Planning Unit
Heritage Branch
Citizenship, Inclusion and
Heritage Division
5th Flr, 400 University Ave
Tel.: 416-301-4797

**Ministère des Affaires civiques
et du Multiculturalisme**

Unité de la planification relative au
patrimoine
Direction du patrimoine
Division des affaires civiques, de
l'inclusion et du patrimoine
Tél.: 416-301-4797



January 26, 2024

EMAIL ONLY

Margaret Fazio, Senior Project Manager – Growth Management
City of Hamilton
71 Main Street West
Hamilton, ON L8P 4Y5
margaret.fazio@hamilton.ca

MCM File : **0014111**
Proponent : **City of Hamilton**
Subject : **Municipal Class Environmental Assessment Study – Transportation
Master Plan - Notice of Study Completion and Project File Report**
Project : **Airport Employment Growth District Transportation Master Plan
Update (2023)**
Location : **City of Hamilton, Ontario**

Dear Margaret Fazio:

Thank you for sending the Notice of Study Completion for the Airport Employment Growth District Transportation Master Plan Update to the Ministry of Citizenship and Multiculturalism (MCM) and making the Project File Report (PFR) and appendices available for review and comment.

MCM's interest in this Master Plan relates to its mandate of conserving Ontario's cultural heritage.

Master Plan Summary

The City of Hamilton has completed the Airport Employment Growth District Transportation Master Plan Update (AEGD-TMP Update) Municipal Class Environmental Assessment Study. The AEGD-TMP Update identified policies, programs, and infrastructure improvements needed to manage both existing and future transportation demand for the business park.

This Transportation Master Plan was undertaken in accordance with the master planning process of the Municipal Engineer's Association's Municipal Class Environmental Assessment Document (MCEA, 2023). The 2023 AEGD-TMP fulfills requirements of Approaches 1 for roadways in new location and 2 for reconfirmed roadways of the master planning process and includes the Schedule B projects listed below:

- Glancaster Road widening (Arterial 1N to Airport Boundary)
- Collector 9W (Garner Road East to Collector 1N)
- Smith Road (Arterial 1N to Airport Boundary)
- Airport Road (Airport Terminal Access Road to East Cargo Road)
- Collector 1N (Fiddler's Green Road to Collector 9W)

Comments

We have reviewed the following documents:

- *Airport Employment Growth District Transportation Master Plan Update* (AEGD-TMP Update) Project File Report prepared by the City of Hamilton, dated September 2023
- *Stage 1 Archaeological Assessment: Hamilton Airport Employment Growth District, City of Hamilton, Ontario*, prepared by Archaeological Research Associates Ltd., dated December 2008)
- *Technical Memorandum: Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment Addendum, Airport Employment Growth Transportation Master Plan Update, City of Hamilton, Ontario*, prepared by WSP Golder, dated August 14, 2023

We have the following comments and observations:

Archaeological Resources

The Stage 1 Archaeological Assessment (under Project Information Form (PIF) number P049-230-2007) was undertaken by Archaeological Research Associates Ltd. (ARA). The Stage 1 report (dated December 2008) is included as Appendix 1 of the AEGD-TMP PFR.

Section 2.3.1 of the PFR indicates that the Stage 1 report was completed as part of the AEGD Secondary Plan process and was not updated for this AEGD-TMP study. The PFR notes that details within the Stage 1 report informed the evaluation of road network modifications. The Stage 1 report concluded that there is archaeological potential over much of the study area, and recommended Stage 2 archaeological assessment in advance of any development. Table 6 of the PFR - *Rationale for Road Network Modification and Network Evaluation* provides information on where Stage 2 archaeological assessment is required for each road network alternative.

Since the completion of the Stage 1 report in December 2008, legislative and regulatory framework regarding archaeology in Ontario have changed [e.g., *Standards and Guidelines for Consultant Archaeologists* (2011)]. During this time, there has also been substantial further archaeological reporting within the AEGD-TMP study area that may have identified more archaeological sites. Some of the lands assessed within this report have since been developed as well. As such, the recommendations and/or mapping provided in this report may no longer be sufficient.

Furthermore, the City of Hamilton's [Hamilton Archaeology Management Plan](#) (AMP) was adopted in 2016. Based on conversation between MCM and City of Hamilton heritage planning staff, it is understood that heritage planning staff have been involved in some preliminary discussions regarding impacts to cultural heritage resources within the study area.

The City is advised to review the AMP and include any applicable mapping and recommendations from the AMP and City of Hamilton heritage planning staff in the ESR. Given that the AMP has identified areas of archaeological potential within portions of the study area, we recommend that a Stage 2 archaeological assessment (and any further stages of archaeological assessment, if recommended) for those areas of archaeological potential be undertaken as early as possible during the detailed design phase and prior to any ground disturbing activities.

The Master Plan should be revised to acknowledge the recommendations above and all future commitments. We recommend that the Master Plan document indicates which projects will require further archaeological assessment.

Archaeological assessments are required to be undertaken by an archaeologist licensed under the Ontario Heritage Act, who is responsible for submitting the report directly to MCM for review.

Please note that archaeological concerns have not been fully addressed until reports have been entered into the Ontario Public Register of Archaeological Reports where those reports recommend that:

1. the archaeological assessment of the project area is complete and
2. all archaeological sites identified by the assessment are either of no further cultural heritage value or interest (as per Section 48(3) of the Ontario Heritage Act) or that mitigation of impacts has been accomplished through excavation or an avoidance and protection strategy.

Approval authorities should wait to receive the ministry's review letter for an archaeological assessment report before making a decision about the project because the letter will confirm that the report has been entered into the Register and will include the recommendation that there are no further concerns for impacts to archaeological resources, or next steps to mitigate those concerns.

Built Heritage Resource and Cultural Heritage Landscapes

The *Technical Memorandum: Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment Addendum, Airport Employment Growth Transportation Master Plan Update, City of Hamilton, Ontario* (prepared by WSP Golder, dated August 14, 2023) is included in Appendix 2 of the PFR. MCM provided comments on this Addendum on August 11, 2023. While we are comfortable overall with the recommendations of the report, some minor comments provided by MCM are yet to be addressed.

Section 1.0 of the *Technical Memorandum* indicates that this memorandum is an updated addendum to a 2022 Cultural Heritage Report prepared by Golder and submitted to the City of Hamilton. The 2022 Cultural Heritage Report was undertaken to identify known and potential built heritage resources and cultural heritage landscapes within the AEGD-TMP study area. This *Technical Memorandum* was completed following the submission of the 2022 Cultural Heritage Report as part of a feasibility study for Collector 6N (a link in the Project study area) to identify the most likely alignment of the corridor where it meets Upper James Street.

Section 2.0 of this *Technical Memorandum* indicates that this memorandum should be 'read in concert with the 2022 Cultural Heritage Report as that report provides reference to the project methodology, study area context, and mapping, existing conditions and photographs, and a summary of community engagement'. The 2022 Cultural Heritage Report referred to in this memorandum is not included as an appendix to the PFR. As this Cultural Heritage Report reportedly provides necessary information relating to the identification of built heritage resources and cultural heritage landscapes within the AEGD-TMP study area, the report should be appended to the PFR and made available for review.

We also note a discrepancy in Section 1.7.1 (page 11) of the PFR. The PFR indicates that a total of 86 built heritage resources and 73 cultural heritage landscapes were identified 'adjacent to the Business Park', and that the study area includes two churches, a secondary school, and eight cemeteries. The term 'business park' is not defined elsewhere within the PFR so it is unclear if this is referring to the entire study area, or a section of it. A total of 100 built heritage resources and 73 cultural heritage landscapes were listed in the 2023 *Technical Memorandum*. The PFR should provide rationale on why fewer built heritage resources have been indicated in the PFR, or if an alternate study area was used. It is also unclear if the churches, secondary school, and cemeteries noted in this section are considered in this total count of built heritage resources and cultural heritage landscapes.

Table 6 in the PFR – *Rationale for Road Network Modification and Network Evaluation* indicates for several road network alternatives: 'Cultural Heritage impacts to be determined during subsequent studies'. Specific details of additional technical cultural heritage studies to be

completed as part of AEGD-TMP study (Cultural Heritage Evaluation Reports, Heritage Impact Assessments, etc.) should be provided in Table 5, and in Section 6 – Summary of Recommendations. These sections should refer to the proposed mitigation measures of the Technical Memorandum (Appendix B).

Thank you for providing MCM with the opportunity to review the PFR for this project. Please do not hesitate to contact me if you have any further questions or need further information. We are also available to meet with you (and your consultants) if further clarification or advice is required.

Sincerely,

Liam Smythe
Heritage Planner
Heritage Planning Unit
Liam.Smythe@ontario.ca

Copied to: Gina Holden, City of Hamilton
Omar Shams, City of Hamilton
Alissa Golden, City of Hamilton
Heritage Planning, City of Hamilton
EA Notices to SW Region, MECP
Karla Barboza, MCM

It is the sole responsibility of proponents to ensure that any information and documentation submitted as part of their EA report or file is accurate. The Ministry of Citizenship and Multiculturalism (MCM) makes no representation or warranty as to the completeness, accuracy or quality of the any checklists, reports or supporting documentation submitted as part of the EA process, and in no way shall MCM be liable for any harm, damages, costs, expenses, losses, claims or actions that may result if any checklists, reports or supporting documents are discovered to be inaccurate, incomplete, misleading or fraudulent.

Should previously undocumented archaeological resources be discovered, they may be a new archaeological site and therefore subject to Section 48(1) of the *Ontario Heritage Act*. The proponent or person discovering the archaeological resources must cease alteration of the site immediately and engage a licensed consultant archaeologist to carry out an archaeological assessment, in compliance with Section 48(1) of the *Ontario Heritage Act*.

The *Funeral, Burial and Cremation Services Act, 2002, S.O. 2002, c.33* requires that any person discovering human remains must cease all activities immediately and notify the police or coroner. If the coroner does not suspect foul play in the disposition of the remains, in accordance with *Ontario Regulation 30/11* the coroner shall notify the Registrar, Ontario Ministry of Public and Business Service Delivery, which administers provisions of that Act related to burial sites. In situations where human remains are associated with archaeological resources, the Ministry of Citizenship and Multiculturalism should also be notified (at archaeology@ontario.ca) to ensure that the archaeological site is not subject to unlicensed alterations which would be a contravention of the *Ontario Heritage Act*.

From: [Fazio, Margaret](#)
To: [Del Villar Cuicas, Joan \(MECP\)](#)
Cc: [Shams, Omar](#)
Subject: AEGD TMP Update - Notice of Completion and 30 day Review-Provincial Authorities - Updated Meeting Minutes - Jan 5, 2024
Date: Thursday, March 14, 2024 2:56:00 PM
Attachments: [image001.png](#)
[image002.png](#)
[Notice of Completion - AEGD TMP Update - MECP - Jan 5, 2024 Meeting.doc](#)
[Notice of Completion - AEGD TMP Update - MECP - Jan 5 2024 Meeting FINAL Minutes.pdf](#)

Hi Joan,

Please find attached the final minutes for our meeting on Jan 5, 2024, in pdf and the draft in Word for your records. Your change has been addressed on pg. 1 of the minutes.

Despite the cyber issue that we are experiencing in the City of Hamilton, which limits our access to folder and other systems, we fully intend to contact the stakeholders once the AEGD TMP Update Report is amended.

Thank you,
Omar Shams and Margaret Fazio

Margaret Fazio E.P., RPP and MCIP
Senior Project Manager, InfrastructurePlanning
Planning and Economic Development
City of Hamilton
71 Main Street West, 6th Floor, L8P 4Y5
Phone 905-546-2424 ext. 2218
Email: margaret.fazio@hamilton.ca



From: Fazio, Margaret <Margaret.Fazio@hamilton.ca>
Sent: January 15, 2024, 2:45 PM
To: Del Villar Cuicas, Joan (MECP) <Joan.DelVillarCuicas@ontario.ca>; Shams, Omar <Omar.Shams@hamilton.ca>
Subject: RE: AEGD TMP Update - Notice of Completion and 30-day Review-Provincial Authorities

Hi Joan,

Thank you for the below information and for meeting with us.
Please find attached the Draft Minutes for our Jan 5th, 2024, meeting, for your input. We would appreciate it if you could please provide comments on the attached by next **Monday, Jan 22, 2024**. Please review without markup

Please advise if you have any questions.

Thank you,
Omar Shams and Margaret Fazio

Margaret Fazio E.P., RPP and MCIP
Senior Project Manager, Infrastructure Planning
Planning and Economic Development
City of Hamilton
71 Main Street West, 6th Floor, L8P 4Y5
Phone 905-546-2424 ext. 2218
Email: margaret.fazio@hamilton.ca



From: Del Villar Cuicas, Joan (MECP) <Joan.DelVillarCuicas@ontario.ca>
Sent: Friday, January 5, 2024 11:45 AM
To: Fazio, Margaret <Margaret.Fazio@hamilton.ca>; Shams, Omar <Omar.Shams@hamilton.ca>
Subject: RE: AEGD TMP Update - Notice of Completion and 30 day Review-Provincial Authorities

Hi Margaret and Omar,

As requested, please find below the Master plan approach table and well as the dust suppressant information.

Another recommendation is to update the project website informing the public/stakeholders of the changes in the masterplan.

Please feel free to reach out if you have any additional questions.

Regards

Joan Del Villar Cuicas (she/her)
Regional Environmental Planner
Project Review Unit | Environmental Assessment Branch
Ontario Ministry of the Environment, Conservation and Parks
Joan.delvillarcuicas@ontario.ca | Phone: 365-889-1180

4.5 Master Planning Process

The master planning process is discussed in Section A.2.7. A summary of the various approaches is provided below.

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	Approach 1	Approach 2*	Approach 3*
Level of Detail	Broad (project specific information if minimal) Used as support for subsequent Schedule B and C project specific studies	Sufficient to fulfil requirements for Schedule B projects (more detailed project specific information is included) Used as support for subsequent Phase 3 and 4 schedule C project specific studies	Sufficient to fulfil requirements for Schedule B and C projects (more detailed project specific information is included)
Process	Preliminary Phase 1 and 2	Phase 1 and 2	Phase 1 to 4
Final Notice	Notice of Master Plan *This should not be called a Notice of Completion	Final notice becomes Notice of Completion for schedule B projects	Final notice becomes Notice of Completion for schedule B and C projects
Integration with Planning Act*	*Official Plan and Secondary Plan	*Official Plan and Secondary Plan, Plan of Subdivision, etc.	*Official Plan, Secondary Plan, Plan of Subdivision, etc.

* The various master planning approaches provide proponents with flexibility to customize their master plans to suit their needs. See section A.2.7 for information on modified approaches 2 and 3.

- The MECP recommends that non-chloride dust-suppressants be applied. For a comprehensive list of fugitive dust prevention and control measures that could be applied, refer to [Cheminfo Services Inc. Best Practices for the Reduction of Air Emissions from Construction and Demolition Activities](#) report prepared for Environment Canada. March 2005.

From: Shams, Omar <Omar.Shams@hamilton.ca>

Sent: January 4, 2024 2:22 PM

To: Del Villar Cuicas, Joan (MECP) <Joan.DelVillarCuicas@ontario.ca>

Cc: Fazio, Margaret <Margaret.Fazio@hamilton.ca>

Subject: RE: AEGD TMP Update - Notice of Completion and 30 day Review-Provincial Authorities

CAUTION -- EXTERNAL E-MAIL - Do not click links or open attachments unless you recognize the sender.

Hello Joan,

Happy New Year and thank you for getting back to us quickly.

Tomorrow, 10-11 am works for our meeting. I will send the meeting invite shortly.

With respect to our questions, they are generally centred around your comments provided for the AEGD TMP Update Notice of Completion and ESR.

We will provide a list of questions separately later this afternoon.

Many thanks,

Margaret and Omar

Omar Shams, B-Tech, C.E.T. (He/Him)
Project Manager, Mobility Planning - New Initiatives
Planning and Economic Development
Transportation Planning and Parking, City of Hamilton
(905) 546-2424 Ext.7474



From: Del Villar Cuicas, Joan (MECP) <Joan.DelVillarCuicas@ontario.ca>

Sent: January 4, 2024 11:20 AM

To: Fazio, Margaret <Margaret.Fazio@hamilton.ca>

Cc: Shams, Omar <Omar.Shams@hamilton.ca>

Subject: RE: AEGD TMP Update - Notice of Completion and 30 day Review-Provincial Authorities

Good morning Margaret and Omar,

I am available tomorrow from 10 am to 11am. Would that work for you?

Would you be able to provide some info on the questions to see if I need to reach out to any other member of the team?

Thanks,

Joan

Joan Del Villar Cuicas (she/her)
Regional Environmental Planner
Project Review Unit | Environmental Assessment Branch
Ontario Ministry of the Environment, Conservation and Parks
Joan.delvillarcuicas@ontario.ca | Phone: 365-889-1180

From: Fazio, Margaret <Margaret.Fazio@hamilton.ca>

Sent: January 3, 2024 4:54 PM

To: Del Villar Cuicas, Joan (MECP) <Joan.DelVillarCuicas@ontario.ca>

Cc: Shams, Omar <Omar.Shams@hamilton.ca>

Subject: FW: AEGD TMP Update - Notice of Completion and 30 day Review-Provincial Authorities

CAUTION -- EXTERNAL E-MAIL - Do not click links or open attachments unless you recognize the sender.

Hello Joan,

Thank you for the attached comments. Omar and I have some questions that we would like to discuss with you prior to initiating additional work on the AEGD TMP Update Project File Report.

Our availability is as follows:

Friday, Jan 5 – all day

Wednesday, Jan 10 – p.m.

Friday, Jan 12 – all day

Please advise if you be available at any of these times for 1 hour.

Thank you,

Margaret Fazio E.P., RPP and MCIP

Senior Project Manager, InfrastructurePlanning

Planning and Economic Development

City of Hamilton

71 Main Street West, 6th Floor, L8P 4Y5

Phone 905-546-2424 ext. 2218

Email: margaret.fazio@hamilton.ca



From: Del Villar Cuicas, Joan (MECP) <Joan.DelVillarCuicas@ontario.ca>

Sent: Thursday, December 14, 2023 4:13 PM

To: Fazio, Margaret <Margaret.Fazio@hamilton.ca>; Shams, Omar <Omar.Shams@hamilton.ca>

Subject: RE: AEGD TMP Update - Notice of Completion and 30 day Review-Provincial Authorities

Good afternoon,

Thank you for circulating the Notice of completion and Project File Report for AEGD TMP Update Municipal Class Environmental Assessment. Please find attached MECP comments for your consideration.

Should you have any questions regarding our comments, please feel free to contact

me.

Regards,

Joan Del Villar Cuicas (she/her)

Regional Environmental Planner

Project Review Unit | Environmental Assessment Branch

Ontario Ministry of the Environment, Conservation and Parks

Joan.delvillarcuicas@ontario.ca | Phone: 365-889-1180

From: Holden, Gina <Gina.Holden@hamilton.ca>

Sent: November 21, 2023 12:21 PM

Cc: Fazio, Margaret <Margaret.Fazio@hamilton.ca>; Shams, Omar <Omar.Shams@hamilton.ca>

Subject: AEGD TMP Update - Notice of Completion and 30 day Review-Provincial Authorities

CAUTION -- EXTERNAL E-MAIL - Do not click links or open attachments unless you recognize the sender.

Hello,

Please find attached the City of Hamilton's Airport Employment Growth District Transportation Master Plan Update's Notice of Completion and Minimum 30 Day Public Review Notice attached.

You are being contacted because you are on the Standard Mailing List for EA Processes within the City of Hamilton.

If there are any changes in who should be contacted in the future please let us know.

Thank you,

Omar Shams and Margaret Fazio

Our contacts are provided in the body of the Notice.

Gina Holden

Admin Secretary

Planning and Economic Development

Infrastructure Planning and Legislative Approvals

City of Hamilton

(905) 546-2424 Ext.4147



City of Hamilton, Planning and Economic Development Department
Growth Management Division
Meeting Minutes

MEETING: AEGD TMP Update – Six Nations and City of Hamilton (COH)

DATE & TIME:	January 5, 2024	10:00a.m. to 11:00 a.m.
LOCATION:	Virtual – Microsoft Teams	
ATTENDEES:	Del Villar Cuicas, Joan (MECP) Joan.DelVillarCuicas@ontario.ca Shams, Omar - Omar.Shams@hamilton.ca Margaret Fazio; Margaret.Fazio@hamilton.ca	
REGRETS:	N/A	
MINUTE RECORDER:	Margaret Fazio and Omar Shams	
OBJECTIVE:	This meeting was to review the MECP Comments on City of Hamilton's Airport Employment Growth District (AEGD) Transportation Master Plan (TMP) Update's Notice of Completion and Environmental Study Report	

Item	Topic	Action
1.	Master Plan Approach: The Master Plan Approaches 1 & 2 requirements were explained and clarified by Joan. City of Hamilton (COH) staff were advised to amend the project file report as such to clarify which Master Plan Approach is followed. After further discussion it was agreed upon that Approach #1 would be the most appropriate for the AEGD TMP Update to follow. Therefore, it was clarified that all listed Schedule B projects are therefore not appealable at the end of this master plan process and are required to fulfill Phase 2 of the EA process. Schedule C projects will need to fulfill phases 2-4 of the EA process.	COH
2	Notice of Master Plan Re-issuance: Joan clarified that there is no expectation to re-issue the Notice of Master Plan, however, it is recommended to clearly communicate the Master Plan Approach adopted on the project webpage and during follow-up discussions with all stakeholders.	COH

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3.	<p>Climate Change Considerations: Given Approach 1 is followed, there is no need to expand further on Climate Change, however, a qualitative discussion on incorporating LID features, increased Active Transportation, transit facilities and routes, and TDM at a high level is sufficient. Additionally, reference to the Climate Change document subsequently sent by Joan could be referred to in the project file report. For subsequent phases of the EA process, quantitative information regarding Climate Change mitigation would be required, were supporting data is available or as appropriate.</p>	COH
4	<p>Public Information and Consultation:</p> <ul style="list-style-type: none"> • The public is inquiring about the City's initiatives regarding Climate Change, necessitating clear communication during all phases of the EA process. • Direction was provided to include correspondence received and how comments were addressed. • Incorporate feedback received on the draft Project File Report during the 30-day public review, in the final version of the Project File Report. 	COH
6	<p>Broccolini Development - Separate PICs for Phases 2 and 3: It was suggested that having two separate Public Information Centers (PICs) for Phases 2 and 3 would be beneficial as part of the planning and EA processes. It was acknowledged that other stakeholders are impacted by the new location, necessitating inclusive communication.</p>	COH
7	<p>Indigenous Community Consultation: The need to clarify the final approach adopted for the AEGD TMP Update when speaking to Indigenous communities was emphasized. Include consultation section information and details on how stakeholders were notified and what was the feedback received. Discussion on whether the amended report should be reviewed by Indigenous communities.</p>	COH
8	<p>NEXT STEPS</p> <ul style="list-style-type: none"> • City staff to update the Project File Report and clarify the Approach adopted for the AEGD TMP Update. • Incorporate Climate Change considerations into all Phases of the EA 	COH

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	<p>Process.</p> <ul style="list-style-type: none">• City staff to advise Broccolini to consider separate PICs for Phases 2 and 3 of the Arterial 1N EA process.• Communicate the final approach and additional information with Indigenous Communities in the follow-up.	
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/MF&OS

From: [Del Villar Cuicas, Joan \(MECP\)](#)
To: [Fazio, Margaret](#); [Shams, Omar](#)
Subject: RE: AEGD TMP Update - Notice of Completion and 30 day Review-Provincial Authorities
Date: Thursday, December 14, 2023 4:12:55 PM
Attachments: [image001.png](#)
[MCEA - MECP PRU Comments - PFR - AEGD TMP Update.pdf](#)

Good afternoon,

Thank you for circulating the Notice of completion and Project File Report for AEGD TMP Update Municipal Class Environmental Assessment. Please find attached MECP comments for your consideration.

Should you have any questions regarding our comments, please feel free to contact me.

Regards,

Joan Del Villar Cuicas (she/her)

Regional Environmental Planner

Project Review Unit | Environmental Assessment Branch

Ontario Ministry of the Environment, Conservation and Parks

Joan.delvillarcuicas@ontario.ca | Phone: 365-889-1180

From: Holden, Gina <Gina.Holden@hamilton.ca>
Sent: November 21, 2023 12:21 PM
Cc: Fazio, Margaret <Margaret.Fazio@hamilton.ca>; Shams, Omar <Omar.Shams@hamilton.ca>
Subject: AEGD TMP Update - Notice of Completion and 30 day Review-Provincial Authorities

CAUTION -- EXTERNAL E-MAIL - Do not click links or open attachments unless you recognize the sender.

Hello,

Please find attached the City of Hamilton's Airport Employment Growth District Transportation Master Plan Update's Notice of Completion and Minimum 30 Day Public Review Notice attached.

You are being contacted because you are on the Standard Mailing List for EA Processes within the City of Hamilton.

If there are any changes in who should be contacted in the future please let us know.

Thank you,

Omar Shams and Margaret Fazio

Our contacts are provided in the body of the Notice.

Gina Holden

Admin Secretary

Planning and Economic Development

Infrastructure Planning and Legislative Approvals

City of Hamilton

(905) 546-2424 Ext.4147



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**Ministry of the Environment,
Conservation and Parks**

Ministère de l'Environnement, de la
Protection de la nature et des Parcs



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Via E-mail Only

December 14, 2023

Margaret Fazio
Senior Project Manager
City of Hamilton
iplanning@hamilton.ca

Omar Shams
Project Manager
City of Hamilton
Transportation@hamilton.ca

**Re: Hamilton Airport Employment Growth District Transportation Master Plan Update
City of Hamilton (2023)
Municipal Class Environmental Assessment – Master Plan
Project Review Unit Comments – Final Project File Report**

Dear Project Team,

Thank you for providing the ministry with an opportunity to comment on the final Project File Report (Report) for the above noted Class Environmental Assessment (EA) project. Our understanding is that in order for a more efficient transportation network for the study area within the current City of Hamilton and Hamilton Airport Employment Growth District, the City of Hamilton (the proponent) has determined to undertake an Airport Employment Growth District Transportation Master Plan (AEGD TMP) Implementation Update, which confirms ultimate network improvements. The Ministry of the Environment, Conservation and Parks (ministry) provides the following comments for your consideration.

General

- 1) Section 3.3.1 on page 31 of the Master Plan states that *“From people and goods movement efficiency perspective, Scenario 3 demonstrated...”*. It appears that the word ‘Scenario’ is spelled incorrectly. Please correct this accordingly. The same issue was also found in Section 3.3.1 on page 29 of the Master Plan where it says, *“The changes common to all network scenarios were outline below”*.
- 2) It is recommended for the future to circulate a draft copy of the Report to provide the ministry and other review agencies with an opportunity to comment before any projects are finalized.

Class EA Process & Master Plan Approach

- 3) The Notice of Completion (NoC) states that *“The 2023 AEGD TMP Update fulfills requirements of the **Approaches** 1 and 2 of the master planning process”*. Please note that proponents cannot combine approaches under the Master Plan provisions of the Municipal Class EA. It is likely that the NoC may have meant to refer to *Phases 1 and 2* instead of *Approaches 1 and 2*, which would align better with the Municipal Class EA planning process, as it comprises of five phases. Therefore, please correct this statement such that the term ‘Approaches’ is replaced with ‘Phases’ so that it better complies with the Municipal Class EA.

If a Master Plan does fulfill the requirements of Phases 1 and 2 of the Municipal Class EA, then Approach 1 would be undertaken. However, because the Master Plan also does not clearly identify what Approach is being taken, in order to increase clarity, and as per the Section A.2.7.1 of the Municipal Class EA, *“... the proponent should clearly identify which Master Plan approach it is following (i.e., approach 1, 2 or 3)”* within the appropriate section within the Master Plan.

For a more detailed discussion of the master planning process please refer to Section A.2.7 of the Municipal Class EA, and for a summary of various the approaches in the Master Planning process, please take a look at the table provided in Section 4.5 in Appendix 4 of the Municipal Class EA.

Notice of Completion

- 4) A Notice of Completion was issued for this Master Plan, however, there are a few factors to consider in the Municipal Class EA before issuing a final notice for a Master Plan:
 - Proponents following Approach 1 generally means they are keeping their EA at a broad level of assessment (satisfying phases 1 and 2) and intend to complete the other phases for specific Schedule B/C projects with individual notices of completions for those projects at a later date. If the proponent is following Approach 1, then the notice they issue at the completion of Phases 1 and 2 should really be called “Notice of Master Plan” or “Notice of Master Plan Approach 1

Completion". This is more appropriate than "Notice of Completion" for a broad Approach 1 master plan to avoid confusion with the public.

- Proponents following Approach 2 means they need to do the EA work for all defined Schedule B projects during the master planning (i.e., complete all phases of the MCEA) in order to meet their EA requirements to be able to issue a Notice of Completion of their master plan.
- Proponents following Approach 3 means they need to do the EA work for all defined Schedule B AND C projects during the master planning (i.e., complete all phases of the MCEA) in order to meet their EA requirements to be able to issue a Notice of Completion for their master plan.

For further information regarding final notices for Master Plans, please refer to the table in Section 4.5 in Appendix 4 of the Municipal Class EA.

Evaluation of Alternatives

- 5) The Notice of Completion lists five Schedule B projects, however, the Master Plan does not provide a systematic approach to the evaluation of alternatives of these projects, and their underlying environmental concerns. In order to improve the traceability of the decision-making process, please refer to Section A.2.3 of the Municipal Class EA document, which further describes the evaluation step of Phase 2 of the Class EA planning process. In order to best meet the requirements of the Class EA process, an evaluation of alternative solutions for each Schedule B should be provided, including the identification of the magnitude of the net positive and negatives of all natural, social, and economic components of the environment, and mitigating measures of each alternative.
- 6) The evaluation of alternative solutions should contain the "Do Nothing" option. The purpose of the "Do Nothing" alternative is to provide a baseline to demonstrate the current and future impacts of the existing as a comparison to the proposed alternatives. In many cases, the "Do Nothing" option does not solve the existing problem and will be screened out at the decision stage for that reason. However, it cannot be assumed that it will be screened out and therefore not explored to exist as a baseline. More information regarding the "Do Nothing" option can be found in Section B.2 of the Municipal Class EA document.
- 7) Section 3.4 on page 31 of the Report states that *"All roadway modifications were evaluated individually and holistically against evaluation criteria described in Section 2 of this report as presented in Table 6..."*. We see that the following evaluation criteria is presented in Table 6:
 - *Transportation & Engineering*
 - *Connectivity & Redundancy*
 - *Efficient Movement of People and Goods*

- *Conformity with Strategic Planning Documents*
- *Socio – Economic*
 - *Impacts on Existing Residences & Businesses*
 - *Consistency with Planned Land uses*
- *Capital Cost*
 - *Cost Implications*
- *Natural Environment*
 - *Impact on Terrestrial, Aquatic and Sensitive Natural Areas*
- *Cultural Environment*
 - *Impact on Cultural Environment*

However, the criteria listed above from Table 6 does not correspond with what seems to be described in Section 2. All evaluation criteria specific to what is listed in Table 6 should be described in detail, explaining the reasons as to why the criteria used to identify and assess the alternatives was chosen, and the weighing of these criteria.

Consultation

- 8) The ministry recommends that Section 2.2 of the Master Plan should be further expanded upon to include a summary of questions, comments and concerns raised by the public/agency's/stakeholders/Indigenous Communities, and how they have been or will be addressed. If none were received, then this should be documented in the Report. This summary should also be specific such that correspondence referenced can be easily found in the record of consultation in Appendix 4 of the Master Plan.

Air Quality and Odour

- 9) Please note that the ministry recommends that non-chloride dust suppressants be applied during construction.

Climate Change

- 10) 2.4.2 of the Report is completed at a very broad level and requires further detail in regard to climate change considerations. The document "Considering Climate Change in the Environmental Assessment Process" (Guide) (www.ontario.ca/page/considering-climate-change-environmental-assessment-process) is now a part of the EA program's Guides and Codes of Practice. The Guide sets out the ministry's expectation for considering climate change in the preparation, execution and documentation of environmental assessment studies and processes. The guide provides examples, approaches, resources, and references to assist proponents with consideration of climate change in EA. The proponent should review this Guide in detail. The ministry expects proponents of Class EA projects to:

- Consider the project's expected production of greenhouse gas emissions and impacts on carbon sinks (climate change mitigation), as well as resilience or vulnerability of the undertaking to changing climatic conditions (climate change adaptation).
- Include a discrete section in the Report detailing how climate change was considered in the EA.

How climate change is considered can be qualitative or quantitative in nature and should be scaled to the project's level of environmental effect. In all instances, both a project's impacts on climate change (mitigation) and impacts of climate change on a project (adaptation) should be considered.

Excess Materials and Waste

- 11) In December 2019, the ministry released a new regulation under the Environmental Protection Act, titled On-Site and Excess Soil Management (O. Reg. 406/19) to support improved management of excess construction soil. The regulation is being phased in over time, with the first phase in effect on January 1, 2021. For more information, please visit www.ontario.ca/page/handling-excess-soil. The Report should reference those activities involving the management of excess soil should be completed in accordance with O. Reg. 406/19 and the ministry's current guidance document titled "Management of Excess Soil – A Guide for Best Management Practices" (2014).
- 12) All waste generated during construction must be disposed of in accordance with ministry requirements.

Groundwater

- 13) The Report is missing an identification of potential impacts to groundwater resources, an assessment of the magnitude of the net positive and negative effects, and consideration of any required mitigation measures as a result of the preferred alternative. If none are anticipated, then this should be stated and explained in the Report. To facilitate traceability of the decision-making that was undertaken during the planning process, please revise the Report accordingly.

Noise and Vibration

- 14) Section 5.1.4 of Appendix 3 states that *"The route traveling parallel to the woodland Core Area could also mean higher noise and light impacts to the woodland and wildlife that utilize the woodland Core Area"*. Additionally, Section 5.1.7 of Appendix 3 also states that *"Alternative 1 is moderately preferred. It would require several wildlife crossing features and fencing, and cross several headwater features for which watercourse crossings will need to be assessed for structural requirements. This alternative would also have the second most direct impacts to properties and most indirect impacts that would require mitigation measures (such as noise walls)"*. More detailed Noise control measures should be addressed in the mitigation plans not only for Natural Environment, but also

construction activities, in order to mitigate adverse noise impacts to nearby residential land uses within the study area.

Source Water Protection

15) The Ministry recommends that the proponent include a section on source water protection in the main body of the Report in order to clearly document how the proximity of the project to any delineated vulnerable areas, such as highly vulnerable aquifers and significant groundwater recharge areas, was considered and assessed through the Class EA process.

- In October 2015 the Municipal Engineers Association Parent Class EA document was amended to include reference to the Clean Water Act in Section A.2.10.6 (accessible online at <https://municipalclassea.ca/manual/page19.html>), which indicates that proponents of a Class EA project must identify early in their process whether a project is or could potentially be occurring within a vulnerable area. In order to determine if this project is occurring within a vulnerable area, proponents can use this mapping tool:
<http://www.applications.ene.gov.on.ca/swp/en/index.php>. Note that various layers (including WHPAs, WHPA-Q1 and WHPA-Q2, IPZs, HVAs, SGRAs, EBAs, ICAs) can be turned on through the “Map Legend” bar on the left. The mapping tool will also provide a link to the appropriate source protection plan in order to identify what policies may be applicable in the vulnerable area.
- For further information about the source protection plan and assistance in identifying all applicable policies and their requirements, proponents should contact source protection program manager for the applicable source protection region (resources available online: <https://conservationontario.ca/conservation-authorities/source-water-protection/source-protection-plans-and-resources/>).

Species at Risk

16) Please note that it is the responsibility of the proponent to ensure that Species at Risk (SAR) are not killed, harmed, or harassed, and that their habitat is not damaged or destroyed through the proposed activities to be carried out on the site. If the proposed activities cannot avoid impacting protected species and their habitats, then the proponent will need to apply for an authorization under the Endangered Species Act (ESA). As is noted in the Report, if the proponent believes that their proposed activities are going to have an impact or are uncertain about the impacts, they should contact SAROntario@ontario.ca to undergo a formal review under the ESA.

Surface Water

17) The Report is missing an identification of potential impacts to nearby surface water bodies, an assessment of the magnitude of the net positive and negative effects, and consideration of any required mitigation measures as a result of the preferred alternative.

If none are anticipated, then this should be stated and explained in the Report. To facilitate traceability of the decision-making that was undertaken during the planning process, please revise the Report accordingly.

Other

Thank you for circulating this Report for the ministry's consideration. Please document the receipt of this Project Review Unit Comments letter in the final report. We look forward to receiving a written response from the City of Hamilton to address our comments provided above. Any other notices should be sent to the ministry's West Central Region EA notification email account (eanotification.wcregion@ontario.ca).

Should you or any members of your project team have any questions regarding the material above, please contact me at joan.delvillarcuicas@ontario.ca.

Sincerely,



Joan Del Villar Cuicas
Regional Environmental Planner
Project Review Unit, Environmental Assessment Branch
Ontario Ministry of the Environment, Conservation and Parks