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CM: October 8, 2025 Ward: City Wide
Written approval for this by-law was given by Mayoral Decision MDE-2025-16
Dated October 8, 2025

Bill No.189

CITY OF HAMILTON

BY-LAW NO. 25-189

To Amend City of Hamilton Zoning By-law No. 05-200 Respecting the Creation of a New Mid Rise Residential – Small Scale (R3) Zone, Mid Rise Residential (R4) Zone, and Mid Rise Residential – Large Scale (R4a) Zone

WHEREAS Council approved Item 8.4 of Minutes 25-013 of the Planning Committee, at its meeting held on October 8, 2025;

WHEREAS this By-law conforms with the Urban Hamilton Official Plan upon adoption of Official Plan Amendment No. 241;

NOW THEREFORE Council amends Zoning By-law No. 05-200 as follows:

1. That Schedule “A” – Zoning Maps, are amended by adding lands to the Mid Rise Residential – Small Scale (R3) Zone, Mid Rise Residential (R4) Zone, and Mid Rise Residential – Large Scale (R4a) Zone, for the lands the extent and boundaries of which are shown on Schedules “A1 - A85” to this By-law.
2. That Section 1: Administration, Section 2: Interpretation, Section 3: Definitions, Section 4: General Provisions, Section 5: Parking, Schedule “C” – Special Exceptions, Schedule “D” - Holding Provisions, and Schedule “F” - Special Figures be amended in accordance with Schedule “B” attached to this By-law.
3. That the following new section be added to Section 15: Residential:

15.4 MID RISE RESIDENTIAL – SMALL SCALE (R3) ZONE

Explanatory Note: *The R3 Zone applies to low rise residential areas along arterial and collector roads. The intent of the R3 Zone is to permit low rise multiple dwellings and multiple dwelling townhouses within and at the periphery of neighbourhoods.*

No person shall erect, or use any building in whole or in part, or use any land in whole or in part, within a Mid Rise Residential – Small Scale (R3) Zone for any

purpose other than one or more of the following uses or uses accessory thereto. Such erection or use shall also comply with the prescribed regulations:

15.4.1 PERMITTED USES

Child Care Centre
Community Garden
Lodging House
Multiple Dwelling
Multiple Dwelling Townhouse
Residential Care Facility
Retirement Home
Urban Farm

15.4.1.1 RESTRICTED USES

In addition to Section 15.4.1, the following uses shall be permitted in accordance with the following restrictions:

- i) The following uses shall only be permitted as a secondary use to a Lodging House, Multiple Dwelling, Residential Care Facility, or Retirement Home and shall only be permitted within the ground floor of a building:

Child Care Centre

15.4.2 REGULATIONS

15.4.2.1 MULTIPLE DWELLING TOWNHOUSE

- a) Dwelling Unit Arrangement – Multiple Dwelling Townhouse

Not more than eight (8) Dwelling Units shall be attached in a continuous row.

- b) Minimum Unit Width for each Dwelling Unit

- i) 6.0 metres where the Dwelling Unit contains a garage; and,
- ii) 5.0 metres where the Dwelling Unit does not contain a garage.

- c) Minimum Setback from a Street Line

- i) 4.0 metres;
- ii) Notwithstanding Section 15.4.2.1 c) i), for lots identified on Figure 46 of

Schedule "F" – Special Figures of this By-law, a building may be erected closer to the Street Line in accordance with the following:

1. Within 10 % of the average Street Line setback of the two adjacent dwellings, or in the case of a corner lot, within 10% of the setback from the Street Line of the adjacent dwelling sharing a common lot line; and,
 2. In no case shall the Street Line setback be less than 0.5 metres.
- d) Minimum Setback from a Side or Rear Lot Line
- i) Where the lot line abuts a lot in a Low Density Residential (R1), Low Density Residential – Small Lot (R1a), Low Density Residential – Large Lot (R2), Neighbourhood Institutional (I1), or Community Institutional (I2) Zone:
 1. For the first 25.0 metres measured from the intersection of the lot line and a street: 1.2 metres if the wall contains no windows to a habitable room and 7.5 metres if the wall contains windows to a habitable room; and,
 2. Beyond 25.0 metres measured from the intersection of the lot line and a street: 7.5 metres.
 - ii) In all other cases:
 1. 1.5 metres where the wall contains no windows to a Habitable Room; and,
 2. 4.5 metres where the wall contains windows to a Habitable Room.

- e) Minimum Distance Between Buildings on a Lot
- i) Between two exterior walls which contain no windows to a Habitable Room: 3.0 metres;
 - ii) Between two exterior walls, at least one of which contains windows to a Habitable Room: 6.0 metres; and,
 - iii) Between two exterior walls, both of which contain windows to a Habitable Room: 12.0 metres.
- f) Maximum Building Height
- i) 10.5 metres; and,
 - ii) In addition to the definition of Building Height in Section 3: Definitions, any wholly enclosed or partially enclosed amenity area, or any portion of a building designed to provide access to a rooftop amenity area shall be permitted to project above the uppermost point of the building by 3.0 metres, provided that any portion of a building designed to provide access to a rooftop amenity area shall be setback a minimum of 3.0 metres from the exterior walls of the storey directly beneath.
- g) Built Form for New Development
- In the case of buildings constructed after the effective date of this By-law:
- i) Rooftop mechanical equipment shall be located and/or screened from view of any abutting street.
- h) Minimum Landscaped Area
- i) 30% of the Lot Area;
 - ii) Notwithstanding Section 15.4.2.1 h) i), for lots identified on Figure 46 of Schedule "F" – Special Figures of this By-law, the minimum Landscaped Area shall be 15% of the Lot Area; and,

- iii) Within the Landscaped Area, the requirements of Section 4.35.2 of this By-law shall apply.
- i) Minimum Amenity Area per Dwelling Unit
 - i) 5.0 square metres per Dwelling Unit, which may be provided in a communal area, exclusive to the Dwelling Unit or a combination of both;
 - ii) In addition to the definition of Amenity Area, an Amenity Area satisfying Section 15.4.2.1 i) i) located outdoors shall be unobstructed and shall be at or above the surface, and exposed to light and air and may include balconies and patios; and,
 - iii) In addition to Section 15.4.2.1 i) i), an area of 4.0 square metres per Dwelling Unit which is located above another Dwelling Unit or has a rear wall attached to the rear wall of another dwelling unit must be provided in one or more communal areas each having a minimum area of 20 square metres and which is located entirely outdoors and on the surface of the ground.
- j) Location of Parking

No parking spaces shall be located between a Façade and the Front Lot Line or between the Façade and a Flankage Lot Line, except that parking shall be permitted on individual driveways leading to garages forming part of a Dwelling Unit.
- k) Maximum Number of Vehicular Accesses on a Lot
 - i) Two access driveways; and,
 - ii) In addition to Section 15.4.2.1 k) i), one additional access

driveway shall be permitted for every 150.0 metres of cumulative portions of any lot line abutting a street.

l) Pedestrian Accesses

Any ground floor Dwelling Unit adjacent to a yard abutting a street must have a minimum of one pedestrian entrance which is located in a façade facing a street.

m) Maximum Height of a Principal Pedestrian Entrance

The height of the floor level of any principal pedestrian entrance shall be a maximum of 1.2 metres above grade.

n) Waste Storage

Outdoor waste storage shall be fully enclosed and shall not be located in the front yard.

15.4.2.2 LODGING HOUSE, MULTIPLE DWELLING, RESIDENTIAL CARE FACILITY, AND RETIREMENT HOME REGULATIONS

a) Minimum Setback from a Street Line

i) 4.0 metres;

ii) Notwithstanding Section 15.4.2.2 a) i), for lots identified on Figure 46 of Schedule “F” – Special Figures of this By-law, a building may be erected closer to the Street Line in accordance with the following:

1. Within 10% of the average setback from the front lot line or flankage lot line of the two adjacent dwellings, or in the case of a corner lot, within 10% of the setback from the front lot line of the adjacent dwelling sharing a side lot line; and,
2. In no cases shall the setback from the front lot line be less than 0.5 metres.

- b) Minimum Setback from a Side Lot Line
- i) 1.2 metres.
 - ii) Notwithstanding Section 15.4.2.2 b) i), where windows of a Habitable Room face a side lot line, the minimum setback shall be 4.0 metres.
- c) Minimum Setback from the Rear Lot Line
- 7.5 metres.
- d) Maximum Building Height
- i) 12.0 metres; and,
 - ii) In addition to the definition of Building Height in Section 3: Definitions, any wholly enclosed or partially enclosed amenity area, or any portion of a building designed to provide access to a rooftop amenity area shall be permitted to project above the uppermost point of the building by 3.0 metres, provided that any portion of a building designed to provide access to a rooftop amenity area shall be setback a minimum of 3.0 metres from the exterior walls of the storey directly beneath.
- e) Minimum Landscaped Area
- i) 30% of the Lot Area.
 - ii) Notwithstanding Section 15.4.2.2 e) i), for lots identified on Figure 46 of Schedule "F" – Special Figures of this By-law, the minimum Landscaped Area shall be 15% of the Lot Area.
 - iii) Within the Landscaped Area, the requirements of Section 4.35.2 of this By-law shall apply.
- f) Minimum Distance Between Buildings on a Lot
- i) Between two exterior walls which contain no windows to a Habitable Room: 3.0 metres;

ii) Between two exterior walls, one of which contains windows to a Habitable Room: 6.0 metres;

iii) Between two exterior walls, both of which contain windows to a Habitable Room: 12.0 metres.

g) Built Form for New Development

In the case of buildings constructed after the effective date of this By-law excluding any alterations to a façade, windows or doors, after the effective date of this by-law:

i) Rooftop mechanical equipment shall be located and/or screened from view of any abutting street;

ii) No parking, or aisles shall be located between the building façade and a Street Line; and,

iii) All principal entrances shall face the street and be accessible from the building façade with direct access from the public sidewalk.

h) Minimum Amenity Area Per Dwelling Unit

On a lot containing more than 10 Dwelling Units, the following minimum Amenity Area requirements shall be provided exclusively for the residential use and shall be functionally separated from public areas associated with any non-residential use:

i) 5.0 square metres per Dwelling Unit, subject to the following regulations:

1. 3.0 square metres shall be outdoors on or above the ground, at least 50% of which shall be a contiguous area; and,

- 2. 2.0 square metres shall be indoors.
- j) Maximum number of Vehicular Accesses on a Lot
- i) Two access driveways; and,

- ii) In addition to Section 15.4.2.2 j) i), one additional access driveway shall be permitted for every 150.0 metres of cumulative portions of any lot line abutting a street.

- k) Waste Storage

Outdoor waste storage shall be fully enclosed and shall not be located in the front yard.

15.4.3 SINGLE DETACHED, SEMI-DETACHED, DUPLEX, TRIPLEX, FOURPLEX DWELLINGS AND STREET TOWNHOUSE DWELLING EXISTING AT THE DATE OF THE PASSING OF THE BY- LAW (October XX, 2025)

- i) In addition to Section 1.11 d) and Section 4.12 j) and in accordance with Section 34(10) of the Planning Act, R.S.O., 1990, c.P.13, an addition or alteration to a Single Detached, Semi-Detached, Duplex, Triplex, Fourplex and Street Townhouse Dwelling, not permitted by the By-Law but legally existing at the date of the passing of the By-Law, that increases the volume or size of the building shall be permitted and subject to the requirements of Section 15.1.2 – Regulations, of the Low Density Residential (R1) Zone, and;

- ii) In addition to the permissions of Section 15.4.3 i), an Additional Dwelling Unit shall be permitted in accordance with the requirements of Section 4.33.

15.4.4 REGULATIONS FOR COMMUNITY GARDENS AND URBAN FARMS AS ACCESSORY USES

- a) Urban Farms
 - i) In accordance with the requirements of Subsection 4.26 (c) of this By-law.
 - ii) In addition to i) above, an Urban Farm shall only be permitted in the Rear Yard or on the roof-top of the principal building.
- b) Community Gardens
 - i) In accordance with the requirements of Section 4.27 of this By-law; and,
 - ii) In addition to i) above, a Community Garden shall only be permitted in the rear yard or on the roof-top of the principal building.

4. That the following new Section be added to Section 15: Residential:

15.5 MID RISE RESIDENTIAL – (R4) ZONE

Explanatory Note: The R4 Zone is located along arterial roads. The Zone permits a range of mid rise residential housing types and provides a transition between low density residential areas and denser forms of development. Local commercial uses are permitted in mixed use buildings to serve residents and the surrounding neighbourhoods.

No person shall erect, or use any building in whole or in part, or use any land in whole or in part, within a Mid Rise Residential (R4) Zone for any purpose other than one or more of the following uses or uses accessory thereto. Such erection or use shall also comply with the prescribed regulations:

15.5.1 PERMITTED USES

Artist Studio
 Community Garden
 Craftsperson Shop
 Child Care Centre
 Lodging House
 Multiple Dwelling
 Multiple Dwelling Townhouse
 Office
 Personal Service
 Residential Care Facility
 Retirement Home
 Repair Service

Restaurant
Retail
Social Services Establishment
Tradesperson's Shop
Urban Farm

15.5.1.1 RESTRICTED USES

In addition to Section 15.5.1, the following uses shall be permitted in accordance with the following restrictions:

- i) The following uses shall be permitted as a Secondary use to a Lodging House, Multiple Dwelling, Residential Care Facility, or Retirement Home and shall only be permitted on the ground floor of a building:

Craftsperson Shop
Child Care Centre
Office
Personal Service
Repair Service
Restaurant
Retail
Social Services Establishment
Studio
Tradesperson's shop

Maximum Gross Floor
Area for Office Use

An Office shall be limited to a maximum Gross Floor Area of 500.0 square metres per individual building.

15.5.1.2 PROHIBITED USES

Notwithstanding Section 15.5.1, a Drive-Through Facility shall be prohibited, even as an accessory use.

15.5.2 REGULATIONS

15.5.2.1 LODGING HOUSE, MULTIPLE DWELLING, RESIDENTIAL CARE FACILITY, AND RETIREMENT HOME REGULATIONS

a) Minimum Setback
from a Street Line

- i) 4.5 metres;
- ii) Notwithstanding Section 15.5.2.1 a) i), for lots identified on Figure 46 of Schedule “F” – Special Figures of this By-law, the minimum setback from a street line shall be 3.0 metres.

b) Minimum Setback
from a Side Lot Line

- i) 4.5 metres;
- ii) Notwithstanding Section 15.5.2.1 b) i), for lots identified on Figure 46 Schedule “F” – Special Figures of this By-law, the minimum setback from a side lot line shall be 3.0 metres and a minimum aggregate of 7.5 metres;
- iii) Notwithstanding Section 15.5.2.1 b) i) and ii), where windows of a Habitable Room face a side lot line:
 - 1. 7.5 metres; and,
 - 2. 10.0 metres for any portion of a building exceeding 14.0 metres in height
- iv) Notwithstanding Section 15.5.2.1 b) i) and ii), for lots abutting a Residential (R1), Residential (R1a), or Residential (R2) Zone:
 - 1. 7.5 metres; and,
 - 2. 10.0 metres for any portion of a building exceeding 14.0 metres in height.

c) Minimum Setback
from the Rear Lot Line

- i) 7.5 metres;

- ii) In addition to Section 15.5.2.1 c) i), 10.0 metres for any portion of a building exceeding 14.0 metres in height.
- d) Maximum Building Height
 - i) 22.0 metres; and,
 - ii) In addition to the definition of Building Height in Section 3: Definitions, any wholly enclosed or partially enclosed amenity area, or any portion of a building designed to provide access to a rooftop amenity area shall be permitted to project above the uppermost point of the building, subject to the following regulations:
 - 1. The total floor area of the wholly enclosed or partially enclosed structure belonging to an amenity area, or portion of a building designed to provide access to a rooftop amenity area shall not exceed 10% of the floor area of the storey directly beneath;
 - 2. The wholly enclosed or partially enclosed amenity area, or portion of a building designed to provide access to a rooftop amenity area shall be setback a minimum of 3.0 metres from the exterior walls of the storey directly beneath; and,
 - 3. The wholly enclosed or partially enclosed amenity area, or portion of a building designed to provide access to a rooftop amenity area shall not be greater than 3.0 metres in vertical distance from the uppermost point of the building to the uppermost point of the rooftop enclosure.

e) Minimum Distance
Between Buildings on
a Lot

i) Between two exterior walls which
contain no windows to a Habitable
Room: 6.0 metres.

ii) Between two exterior walls, at least
one of which contains windows to a
Habitable Room:

1. For any portion of the building equal
to or less than 14.0 metres in height:
15.0 metres.

2. For any portion of the building
exceeding 14.0 metres in height: 20.0
metres.

f) Built Form for New
Development

In the case of buildings constructed after the
effective date of this By-law or additions to
buildings existing as of the effective date of
this By-law:

i) Rooftop mechanical equipment shall
be located and/or screened from
view of any abutting street.

ii) No parking or aisles shall be located
between the building façade and a
Street Line.

iii) All principal entrances shall face the
street and be accessible from the
building façade with direct access
from the public sidewalk.

iv) Notwithstanding the definition of
Planting Strip, a sidewalk shall be
permitted where required by Section
iii) above.

v) A minimum of 50% of the area of the
ground floor façade containing a use
permitted in Section 15.5.1.1 i) shall
be comprised of clear glazed
windows and doors. Window and
door frames, clear glazed transoms
and sidelights, doors with at least

50% clear glazing, and a sill up to 0.6m in height are permitted to be included in the calculation of the clear glazed area. Signage and opaque/spandrel glazing shall not be included in the calculation of the clear glazed area; and,

- vi) Within the interior side yard, a walkway with a minimum width of 1.5 metres leading to a street shall be required.

g) Minimum Amenity Area for Multiple Dwelling

On a lot containing more than 10 Dwelling Units, the following minimum Amenity Area requirements shall be provided exclusively for the residential use and shall be functionally separated from public areas associated with any non-residential use:

- i) 5.0 square metres per Dwelling Unit, subject to the following regulations:
 - 1. 3.0 square metres shall be outdoors on or above the ground, at least 50% of which shall be a contiguous area; and,
 - 2. 2.0 square metres shall be indoors.

h) Planting Strip

- i) Where a property lot line abuts a property lot line within a Low Density Residential (R1), Low Density Residential – Small Lot (R1a), Low Density Residential – Large Lot (R2), Neighbourhood Institutional (I1) or Community Institutional (I2) Zone, a minimum 3.0 metre wide Planting Strip shall be provided and maintained;
- ii) Notwithstanding Section 15.5.2.1 h) i), for lots identified on Figure 46 of Schedule “F” – Special Figures of this By-law, a minimum 2.0 metre wide Planting Strip shall be provided and

maintained along any lot line abutting a Residential Zone except a R3, R4, or R4a Zone, or Institutional Zone.

- | | |
|---|--|
| i) Visual Barriers | A visual barrier shall be required along any lot line abutting a Residential Zone, Institutional Zone, or Downtown (D5) Zone line in accordance with the requirements of Section 4.19 of this By-law. |
| j) Minimum Landscaped Area | <p>i) 30% of the Lot Area;</p> <p>ii) Within the Landscaped Area, the requirements of Section 4.35.2 of this By-law shall apply; and,</p> <p>iii) Notwithstanding Section 15.5.2.1 j) i), for lots identified on Figure 46 of Schedule "F" – Special Figures of this By-law, the minimum Landscaped Area shall be 15%.</p> |
| k) Maximum number of Vehicular Accesses per Lot | <p>i) Two access driveways; and,</p> <p>ii) In addition to Section 15.5.2.1 k) i), one additional access driveway shall be permitted for every 150.0 metres of cumulative portions of any lot line abutting a street.</p> |
| l) Waste Storage | Outdoor waste storage shall be fully enclosed and shall not be located in the front yard. |

15.5.2.2 MULTIPLE DWELLING TOWNHOUSE REGULATIONS

- | | |
|---|---|
| a) Unit Arrangement – Multiple Dwelling Townhouse | Not more than eight (8) Dwelling Units shall be attached in a continuous row. |
| b) Minimum Unit Width for each Dwelling Unit | <p>i) 6.0 metres where the Dwelling Unit contains a garage; and,</p> <p>ii) 5.0 metres where the Dwelling Unit does not contain a garage.</p> |

- c) Minimum Setback from a Street Line
- i) 4.0 metres; and,
 - ii) Notwithstanding Section 15.5.2.2 c) i), for lots identified on Figure 46 of Schedule “F” – Special Figures of this By-law, a building may be erected closer to the street line in accordance with the following:
 - 1. Within 10% of the average Street Line setback of the two adjacent dwellings, or in the case of a corner lot, within 10% of the setback from the Street Line of the adjacent dwelling sharing a common lot line; and,
 - 2. In no case shall the Street Line setback be less than 0.5 metres.
- d) Minimum Setback from a Side or Rear Lot Line
- i) Where the lot line abuts a lot in a Low Density Residential (R1), Low Density Residential – Small Lot (R1a), Low Density Residential – Large Lot (R2), Neighbourhood Institutional (I1), or Community Institutional (I2) Zone:
 - 1. For the first 25.0 metres measured from the intersection of the lot line and a street: 1.2 metres if the wall contains no windows to a Habitable Room and 7.5 metres if the wall contains windows to a Habitable Room; and,
 - 2. Beyond 25.0 metres measured from the intersection of the lot line and a street: 7.5 metres;
 - ii) In all other cases:

1. 1.5 metres where the wall contains no windows to a Habitable Room; and,
 2. 4.5 metres where the wall contains windows to a Habitable Room.
- e) Minimum Distance Between Buildings on a Lot
- i) Between two exterior walls which contain no windows to a Habitable Room: 3.0 metres;
 - ii) Between two exterior walls, at least one of which contains windows to a Habitable Room: 6.0 metres; and,
 - iii) Between two exterior walls, both of which contain windows to a Habitable Room: 12.0 metres.
- f) Maximum Building Height
- i) 13.5 metres; and,
 - ii) In addition to the definition of Building Height in Section 3: Definitions, any wholly enclosed or partially enclosed amenity area, or any portion of a building designed to provide access to a rooftop amenity area shall be permitted to project above the uppermost point of the building by 3.0 metres, provided that any portion of a building designed to provide access to a rooftop amenity area shall be setback a minimum of 3.0 metres from the exterior walls of the storey directly beneath.
- g) Built Form for New Development
- In the case of buildings constructed after the effective date of this By-law:
- i) Rooftop mechanical equipment shall be located and/or screened from view of any abutting street.
- h) Minimum Landscaped Area
- i) 30% of the Lot Area;

- ii) Notwithstanding Section 15.5.2.2 h) i), for lots identified on Figure 46 of Schedule “F” – Special Figures of this By-law, the minimum Landscaped Area shall be 15%; and,
 - iii) Within the Landscaped Area, the requirements of Section 4.35.2 of this By-law shall apply.
- i) Minimum Amenity Area per Dwelling Unit
 - i) 5.0 square metres per Dwelling Unit, which may be provided in a communal area, exclusive to the Dwelling Unit or a combination of both;
 - ii) In addition to the definition of Amenity Area, an Amenity Area satisfying Section 15.5.2.2 i) i) located outdoors shall be unobstructed and shall be located at or above the surface of the ground, and exposed to light and air and may include balconies and patios; and,
 - iii) In addition to Section 15.5.2.2 i) i), 4.0 square metres per Dwelling Unit which is located above another Dwelling Unit or has a rear wall attached to the rear wall of another Dwelling Unit must be provided in one or more communal areas each having a minimum area of 20.0 square metres and which is located entirely outdoors and on the surface of the ground.
- j) Location of Parking

No parking spaces shall be located between a Façade and the Front Lot Line or between the Façade and a Flankage Lot Line, except that parking shall be permitted on individual driveways leading to garages forming part of a Dwelling Unit.
- k) Maximum number of Vehicular Accesses per Lot
 - i) Two access driveways; and,

- ii) In addition to Section 15.5.2.2 k) i), one additional access driveway shall be permitted for every 150.0 metres of cumulative portions of any lot line abutting a street.

- l) Pedestrian Accesses Any Dwelling Unit adjacent to a yard abutting a street must have a minimum of one pedestrian entrance which is located in a façade facing a street.
- m) Maximum Height of a Principal Pedestrian Entrance The height of the floor level of any principal pedestrian entrance shall be a maximum of 1.2 metres above Grade.
- n) Waste Storage Outdoor waste storage shall be fully enclosed and shall not be located in the front yard.

15.5.3 SINGLE DETACHED, SEMI-DETACHED, DUPLEX, TRIPLEX, FOURPLEX DWELLINGS AND STREET TOWNHOUSE DWELLING EXISTING AT THE DATE OF THE PASSING OF THE BY- LAW (October XX, 2025)

- i) In addition to Section 1.11 d) and Section 4.12 j) and in accordance with Section 34(10) of the Planning Act, R.S.O., 1990, c.P.13, an addition or alteration to a Single Detached, Semi-Detached, Duplex, Triplex, Fourplex and Street Townhouse Dwelling, not permitted by the By-Law but legally existing at the date of the passing of the By-Law, that increases the volume or size of the building shall be permitted and subject to the requirements of Section 15.1.2 – Regulations, of the Low Density Residential (R1) Zone, and;
- ii) In addition to the permissions of Section 15.5.3 i), an Additional Dwelling Unit shall be permitted in accordance with the requirements of Section 4.33.

15.5.4 REGULATIONS FOR COMMUNITY GARDENS AND URBAN FARMS AS ACCESSORY USES

- a) Community Garden
 - i) In accordance with the requirements of Subsection 4.27 of this By-law; and,
 - ii) In addition to i) above, a Community Garden shall only be permitted in the Rear Yard or on the roof-top of the principal building.
- b) Urban Farms
 - i) In accordance with the requirements of Subsection 4.26 (c) of this By-law; and,
 - ii) In addition to i) above, an Urban Farm shall only be permitted in the Rear Yard or on the roof-top of the principal building.

5. That the following new section be added to Section 15: Residential:

“15.6 MID RISE RESIDENTIAL – LARGE SCALE (R4a) ZONE”

Explanatory Note: The intent of the R4a Zone is to permit a range of mid rise residential housing types, including multiple dwellings, and multiple dwelling townhouses as part of a comprehensive development, along arterial roads at the periphery of neighbourhoods. Local commercial uses are permitted to serve the residents of mixed use buildings and the surrounding neighbourhoods.

No person shall erect, or use any building in whole or in part, or use any land in whole or in part, within a Mid Rise Residential (R4a) Zone for any purpose other than one or more of the following uses or uses accessory thereto. Such erection or use shall also comply with the prescribed regulations:

15.6.1 PERMITTED USES

Artist Studio
Commercial School
Community Garden
Craftsperson Shop
Child Care Centre
Financial Establishment
Lodging House
Medical Clinic

Multiple Dwelling
Multiple Dwelling Townhouse
Office
Personal Service
Place of Worship
Repair Service
Restaurant
Retail
Residential Care Facility
Retirement Home
Social Services Establishment
Tradesperson's Shop
Urban Farm
Veterinary Service

15.6.1.1 RESTRICTED USES

In addition to Section 15.6.1, the following uses shall be permitted in accordance with the following restrictions:

- i) The following uses shall only be permitted as a Secondary use to a Lodging House, Multiple Dwelling, Residential Care Facility, or Retirement Home and shall only be permitted within the ground floor of a building:

- i. Art Gallery
- ii. Commercial School
- iii. Craftsperson Shop
- iv. Child Care Centre
- v. Financial Establishment
- vi. Medical Clinic
- vii. Office
- viii. Personal Service
- ix. Place of Worship
- x. Repair Service
- xi. Restaurant
- xii. Retail
- xiii. Studio
- xiv. Social Services Establishment
- xv. Tradesperson's Shop
- xvi. Veterinary Service

- ii) An Office shall be limited to a maximum Gross Floor Area of 500.0 square metres per individual building.

iii) Multiple Dwelling Townhouse

1. A Multiple Dwelling Townhouse shall only be permitted on a lot which contains a Lodging House, Multiple Dwelling, Residential Care Facility, or Retirement Home which is greater than or equal to 18.0 metres in height, subject to the following regulations:
2. The aggregate Gross Floor Area of all Multiple Dwelling Townhouses shall not exceed 40% of the aggregate Gross Floor Area of all uses on the lot.
3. Section 15.6.1.1 iii) 1. and 2. shall not apply to a Multiple Dwelling Townhouse existing at the date of passing of the By-law (October XX, 2025), provided there is no increase in the number of Dwelling Units within an existing Multiple Dwelling Townhouse building.

15.6.1.2 PROHIBITED USES

Notwithstanding Section 15.6.1, a Drive-Through Facility shall be prohibited, even as an accessory use.

15.6.2 REGULATIONS

15.6.2.1 LODGING HOUSE, MULTIPLE DWELLING, RESIDENTIAL CARE FACILITY, AND RETIREMENT HOME REGULATIONS

- a) Minimum Lot Frontage 30.0 metres.
- b) Minimum Setback from a Street Line
 - i) 4.5 metres;
 - ii) In addition to Section 15.6.2.1 b) i), 6.0 metres for any portion of a building exceeding 14.0 metres in height; and,
 - iii) Notwithstanding Section 15.6.2.1 b) i), for lots identified on Figure 46 of Schedule "F" – Special Figures of this By-law, the minimum setback from a Street Line shall be 3.0 metres.

c) Minimum Setback
from a Side Lot Line

- i) 4.5 metres; and,
- ii) Notwithstanding Section 15.6.2.1 c) i), for lots identified on Figure 46 of Schedule “F” – Special Figures of this By-law, the minimum setback from a side lot line shall be 3.0 metres and a minimum aggregate of 7.5 metres.
- iii) Notwithstanding Section 15.6.2.1 c) i) and ii), where windows of a Habitable Room face a side lot line:
 - 1. 7.5 metres; and,
 - 2. 10.0 metres for any portion of a building exceeding 14.0 metres in height.
- iv) Notwithstanding Section 15.6.2.1 c) i) and ii), where the lot line abuts a lot in a Low Density Residential (R1), Low Density Residential – Small Lot (R1a), or Low Density Residential – Large Lot (R2), Zone:
 - 1. 7.5 metres; and,
 - 2. 10.0 metres for any part of the building exceeding 14.0 metres in height.

d) Minimum Setback
from the Rear Lot Line

- i) 10.0 metres;
- ii) Notwithstanding Section 15.6.2.1 d) i), when the rear lot line abuts a laneway, the minimum setback from the rear lot line shall be 7.5 metres; and,
- iii) In addition to Section 15.6.2.1 d) i) and ii), the minimum setback from the rear lot line shall be 14.0 metres for any portion of a building exceeding 14.0 metres in height.

e) Maximum Building
Height

- i) 40.0 metres; and,
- ii) In addition to the definition of Building Height in Section 3: Definitions, any wholly

enclosed or partially enclosed amenity area, or any portion of a building designed to provide access to a rooftop amenity area shall be permitted to project above the uppermost point of the building, subject to the following regulations:

1. The total floor area of the wholly enclosed or partially enclosed structure belonging to an amenity area, or portion of a building designed to provide access to a rooftop amenity area shall not exceed 10% of the floor area of the storey directly beneath;
2. The wholly enclosed or partially enclosed amenity area, or portion of a building designed to provide access to a rooftop amenity area shall be setback a minimum of 3.0 metres from the exterior walls of the storey directly beneath; and,
3. The wholly enclosed or partially enclosed amenity area, or portion of a building designed to provide access to a rooftop amenity area shall not be greater than 3.0 metres in vertical distance from the uppermost point of the building to the uppermost point of the rooftop enclosure.

f) Minimum Distance Between Buildings on a Lot

- i) Between two exterior walls which contain no windows to a Habitable Room: 6.0 metres.
- ii) Between two exterior walls, at least one of which contains windows to a Habitable Room:
 1. For any portion of the building equal to or less than 14.0 metres in height: 15.0 metres.
 2. For any portion of the building exceeding 14.0 metres in height: 20.0 metres.

g) Built Form for New Development

In the case of buildings constructed after the effective date of this By-law or additions to buildings existing as of the effective date of this By-law:

- i) Rooftop mechanical equipment shall be located and/or screened from view of any abutting street.
- ii) No parking or aisles shall be located between the building façade and a Street Line.
- iii) All principal entrances shall face the street and be accessible from the building façade with direct access from the public sidewalk.
- iv) Notwithstanding the definition of Planting Strip, a sidewalk shall be permitted where required by Section iii) above.
- v) A minimum of 50% of the area of the ground floor façade containing a use permitted in Section 15.6.1.1 i) shall be comprised of clear glazed windows and doors. Window and door frames, clear glazed transoms and sidelights, doors with at least 50% clear glazing, and a sill up to 0.6m in height are permitted to be included in the calculation of the clear glazed area. Signage and opaque/spandrel glazing shall not be included in the calculation of the clear glazed area; and,
- vi) Within the interior side yard, a walkway with a minimum width of 1.5 metres leading to a street shall be required.

h) Minimum Amenity Area for a Multiple Dwelling

On a lot containing more than 10 Dwelling Units, the following minimum Amenity Area requirements shall be provided exclusively for the residential use and shall be functionally separated from public areas associated with any non-residential use:

- i) 5.0 square metres per Dwelling Unit, subject to the following regulations:
 - 1. 3.0 square metres shall be outdoors on or above the ground, at least 50% of which shall be a contiguous area; and,
 - 2. 2.0 square metres shall be indoors.

i) Planting Strip

- i) Where a property lot line abuts a property lot line within a Low Density Residential (R1), Low Density Residential – Small Lot (R1a), Low Density Residential – Large Lot (R2), Neighbourhood Institutional (I1), or a Community Institutional (I2) Zone, a minimum 3.0 metre wide Planting Strip shall be provided and maintained, except:
 - ii) Notwithstanding Section 15.6.2.1 h) i), for lots identified on Figure 46 of Schedule “F” – Special Figures of this By-law, where a property lot line abuts a property lot line within a Low Density Residential (R1), Low Density Residential – Small Lot (R1a), Low Density Residential – Large Lot (R2), Neighbourhood Institutional (I1), or a Community Institutional (I2) Zone, a minimum 2.0 metre wide Planting Strip shall be provided and maintained.

j) Visual Barrier

A visual barrier shall be required along any lot line abutting a Residential Zone, Institutional Zone, or Downtown (D5) Zone in accordance with the requirements of Section 4.19 of this By-law.

k) Minimum Landscaped Area

- i) 30% of the Lot Area;
- ii) Within the Landscaped Area, the requirements of Section 4.35.2 of this By-law shall apply;
- iii) Notwithstanding Section 15.6.2.1 k) i), for lots identified on Figure 46 of Schedule “F” – Special Figures of this By-law, the

minimum Landscaped Area shall be 15% of the Lot Area.

l) Maximum number of Vehicular Accesses on a Lot

- i) Two access driveways; and,
- ii) In addition to Section 15.6.2.1 l) i), one additional access driveway shall be permitted for every 150.0 metres of cumulative portions of any lot line abutting a street.

m) Waste Storage

Outdoor waste storage shall be fully enclosed and shall not be located in the front yard.

15.6.2.2 MULTIPLE DWELLING TOWNHOUSE REGULATIONS

a) Unit Arrangement – Multiple Dwelling Townhouse

Not more than eight (8) Dwelling Units shall be attached in a continuous row.

b) Minimum Unit Width for each Dwelling Unit

- i) 6.0 metres where the Dwelling Unit contains a garage; and,
- ii) 5.0 metres where the Dwelling Unit does not contain a garage.

c) Minimum Setback from a Street Line

- i) 4.0 metres.
- ii) Notwithstanding Section 15.6.2.2 c) i), for lots identified on Figure 46 of Schedule “F” – Special Figures of this By-law, a building may be erected closer to the street line in accordance with the following:
 1. Within 10 percent of the average Street Line setback of the two adjacent dwellings, or in the case of a corner lot, within 10 percent of the setback from the Street Line of the adjacent dwelling sharing a common lot line; and,
 2. In no case shall the setback from the Street Line be less than 0.5 metres.

d) Minimum Setback
from a Side or Rear
Lot Line

i) Where the lot line abuts a lot in a Low Density Residential (R1), Low Density Residential - Small Lot (R1a), Low Density Residential – Large Lot (R2), Neighbourhood Institutional (I1), or Community Institutional (I2) Zone:

1. For the first 25.0 metres measured from the intersection of the lot line and a street: 1.2 metres if the wall contains no windows to a Habitable Room and 7.5 metres if the wall contains windows to a Habitable Room; and,
2. Beyond 25.0 metres measured from the intersection of the lot line and a street: 7.5 metres;

ii) In all other cases:

1. 1.5 metres where the wall contains no windows to a Habitable Room; and,
2. 4.5 metres where the wall contains windows to a Habitable Room;

e) Minimum Distance
Between Buildings on
a Lot

i) Between two exterior walls which contain no windows to a Habitable Room: 3.0 metres;

ii) Between two exterior walls, at least one of which contains windows to a habitable room: 6.0 metres; and,

iii) Between two exterior walls, both of which contain windows to a habitable room: 12.0 metres;

f) Maximum Building
Height

i) 13.5 metres; and,

ii) Notwithstanding Section 15.6.2.2 f) i), portions of a building used exclusively for providing access to a rooftop amenity area and privacy screens associated with a rooftop amenity area may project above the maximum permitted height by 3.0 metres, provided that any enclosed access is located

a minimum of 3.0 metres from the exterior walls of the storey directly beneath;

- | | |
|---|--|
| g) Built Form for New Development | In the case of buildings constructed after the effective date of this By-law: |
| | i) Rooftop mechanical equipment shall be located and/or screened from view of any abutting street. |
| h) Minimum Landscaped Area | i) 30% of the Lot Area;
ii) Notwithstanding Section 15.6.2.2 h) i), for lots identified on Figure 46 of Schedule "F" – Special Figures of this By-law, the minimum Landscaped Area shall be 15% of the Lot Area; and,
iii) Within the Landscaped Area, the requirements of Section 4.35.2 of this By-law shall apply. |
| i) Minimum Amenity Area per Dwelling Unit | i) 5.0 square metres per Dwelling Unit, which may be provided in a communal area, exclusive to the Dwelling Unit or a combination of both;
ii) In addition to the definition of Amenity Area, an Amenity Area satisfying Section 15.6.2.2 i) i) located outdoors shall be unobstructed and shall be at or above the surface, and exposed to light and air and may include balconies and patios; and,
iii) In addition to Section 15.6.2.2 i) i), 4.0 square metres per Dwelling Unit which is located above another Dwelling Unit or has a rear wall attached to the rear wall of another Dwelling Unit must be provided in one or more communal areas each having a minimum area of 20 square metres and which is located entirely outdoors and on the surface of the ground. |
| j) Location of Parking | No parking spaces shall be located between a Façade and the Front Lot Line or between the |

Façade and a Flankage Lot Line, except that parking shall be permitted on individual driveways leading to garages forming part of a Dwelling Unit.

- | | |
|--|---|
| k) Maximum number of Vehicular Accesses on a Lot | <p>i) Two access driveways; and,</p> <p>ii) In addition to Section 15.6.2.2 k) i), one additional access driveway shall be permitted for every 150.0 metres of cumulative portions of any lot line abutting a street.</p> |
| l) Pedestrian Accesses | Any Dwelling Unit adjacent to a yard abutting a street must have a minimum of one pedestrian entrance which is located in a Façade. |
| m) Maximum Height of a Principal Pedestrian Entrance | The height of the floor level of any principal pedestrian entrance shall be a maximum of 1.2 metres above Grade. |
| n) Waste Storage | Outdoor waste storage shall be fully enclosed and shall not be located in the front yard. |

15.6.3 SINGLE DETACHED, SEMI-DETACHED, DUPLEX, TRIPLEX, FOURPLEX, AND STREET TOWNHOUSE DWELLINGS EXISTING AT THE DATE OF THE PASSING OF THE BY-LAW (October 8, 2025)

In addition to Section 4.12 j) and in accordance with Section 34(10) of the Planning Act, R.S.O.,1990, c.P.13, an addition or alteration to a Single Detached, Semi-Detached, Duplex, Triplex, Fourplex, and Street Townhouse Dwelling not permitted by the by-law but legally existing at the date of the passing of the by-law that increases the volume or size of the building shall be permitted as follows:

Nothing in this section shall prevent the enlargement, extension, or alteration of an existing building or structure, provided that:

The increase shall not exceed a maximum of 10% of the Gross Floor Area of the building existing at the date of the passing of the by-law; and,

The existing side yard and front yard setbacks are maintained for the addition.

**15.6.4 REGULATIONS FOR
COMMUNITY
GARDENS AND
URBAN FARMS AS
ACCESSORY USES**

- a) Urban Farms
 - i) In accordance with the requirements of Subsection 4.26 (c) of this By-law.
 - ii) In addition to i) above, an Urban Farm shall only be permitted in the Rear Yard or on the roof-top of the principal building.
 - b) Community Gardens
 - i) In accordance with the requirements of Section 4.27 of this By-law.
 - ii) In addition to i) above, a Community Garden shall only be permitted in the rear yard or on the roof-top of the principal building.
6. That Section "F" - Special Figures is amended by adding Figure No. 46, attached as Schedule "C" to this By-law.
7. That the Clerk is hereby authorized and directed to proceed with the giving of notice of the passing of this By-law in accordance with the *Planning Act*.

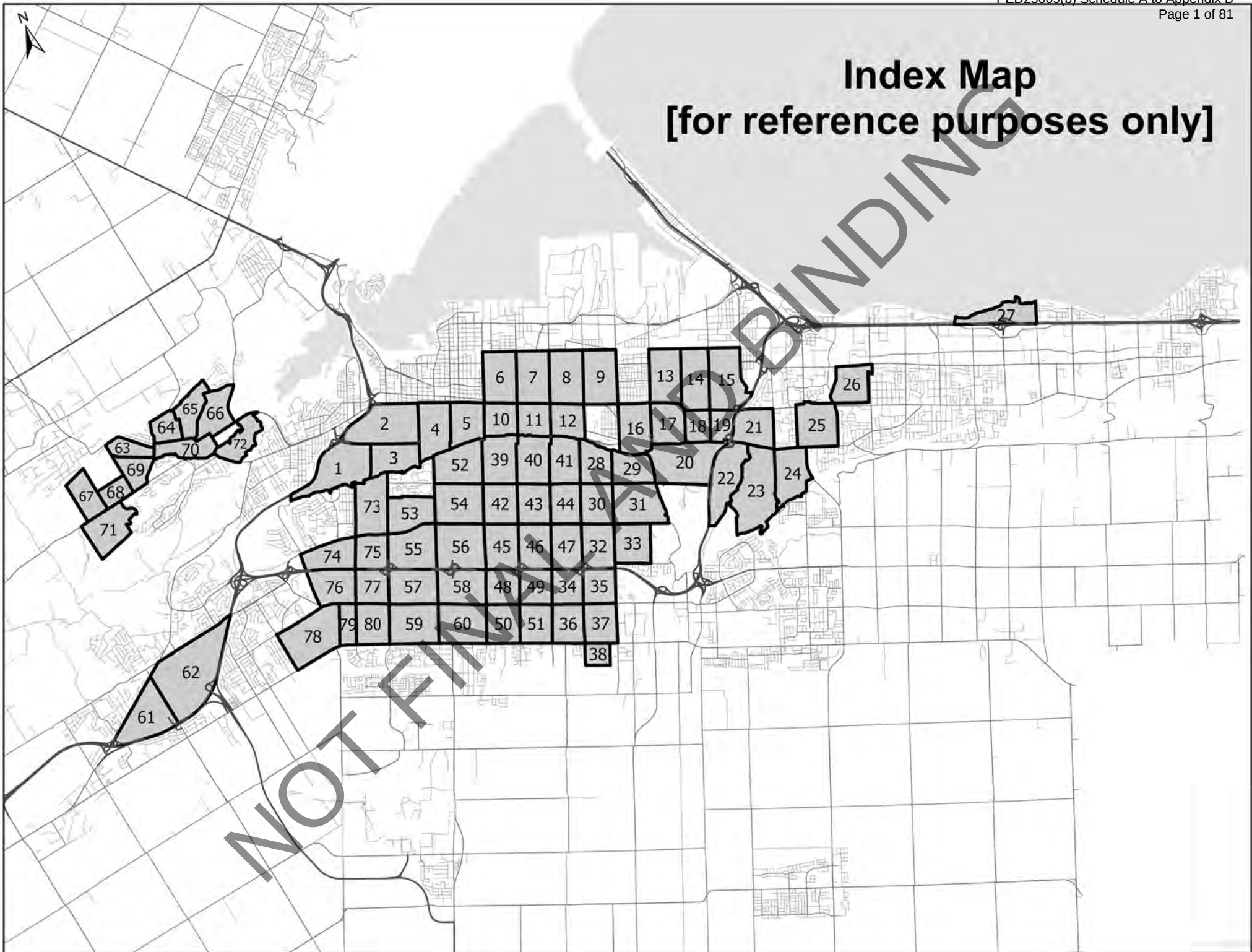
PASSED this 8th day of October, 2025

A. Horwath
Mayor

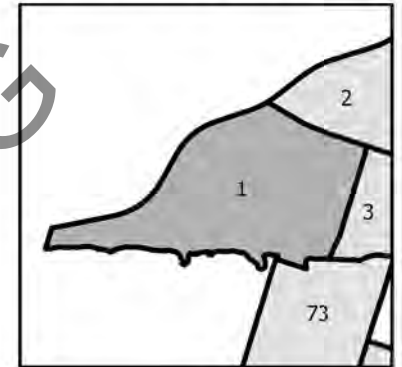
M. Trennum
City Clerk

CI 25-C

Index Map [for reference purposes only]



Schedule A1 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
948, 949, 990, 991, 992, 1033, 1034, 1035,
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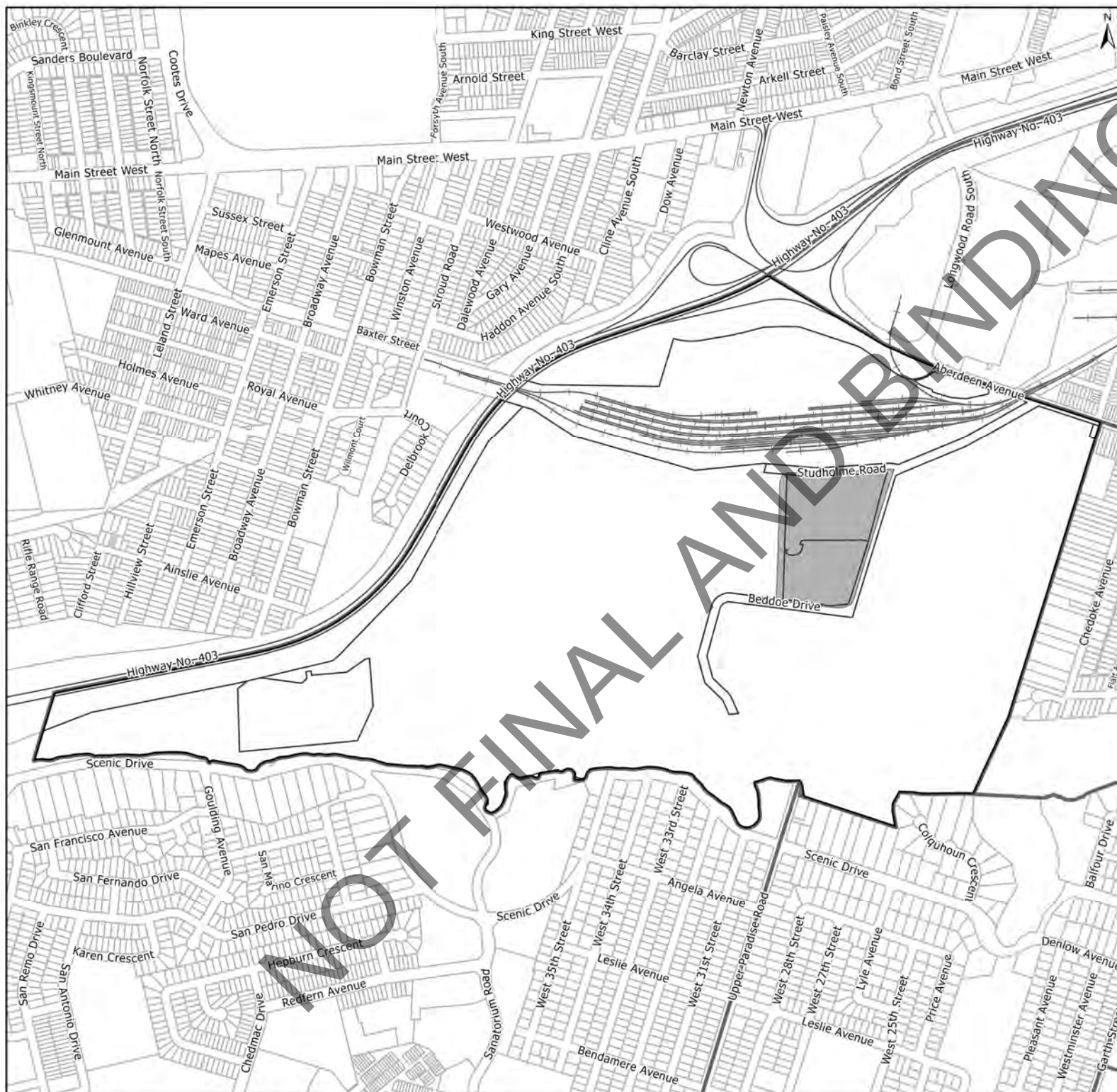
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Planner/Technician:
MS/EY

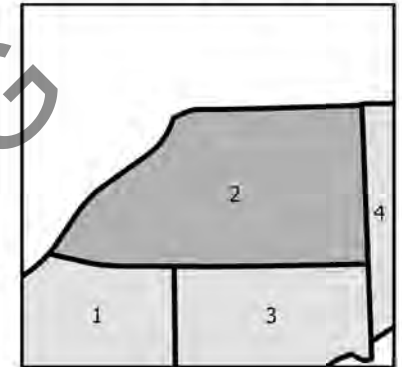
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A2 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
908, 909, 949, 950, 951, 991, 992, 993

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File Name/Number:
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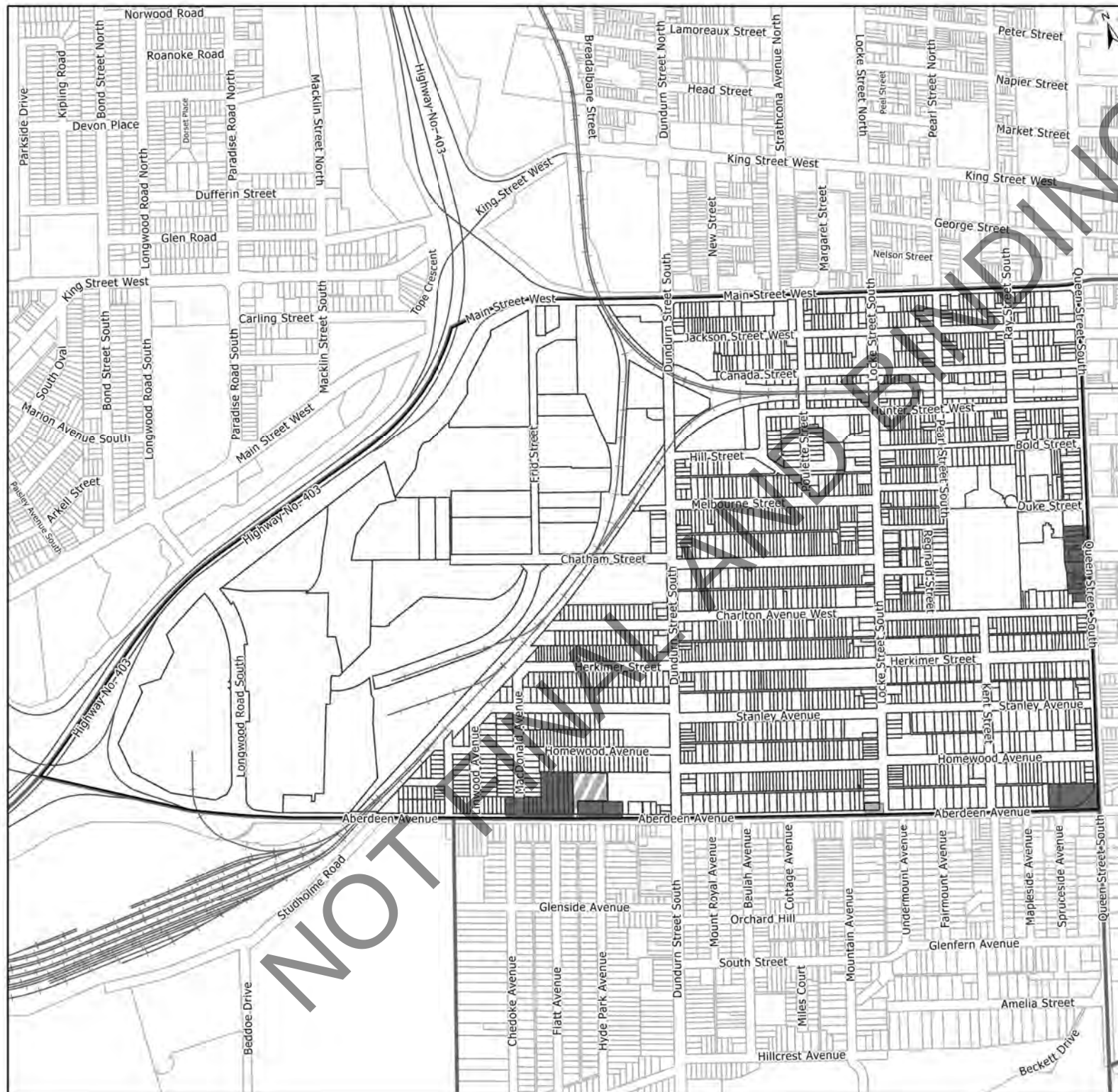
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Planner/Technician:
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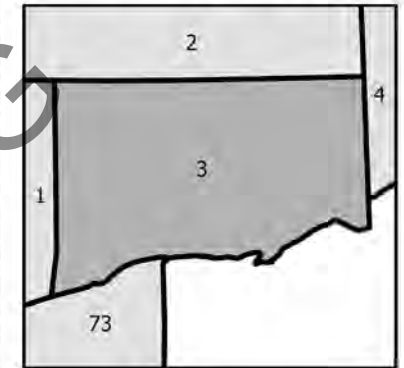
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A3 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
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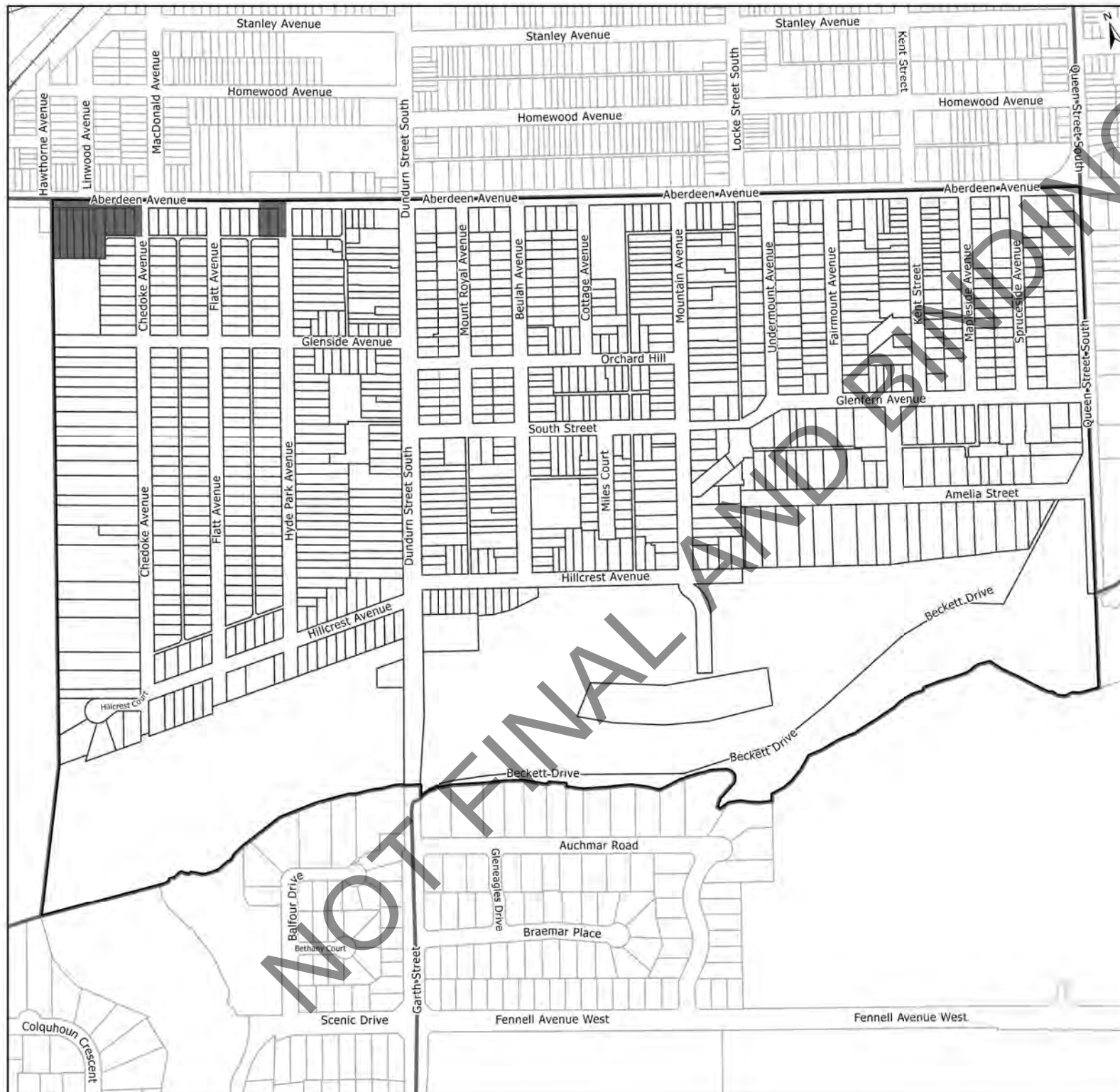
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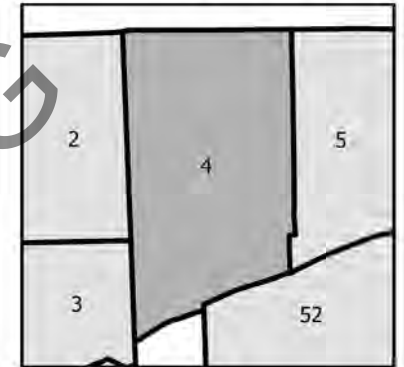
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A4 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
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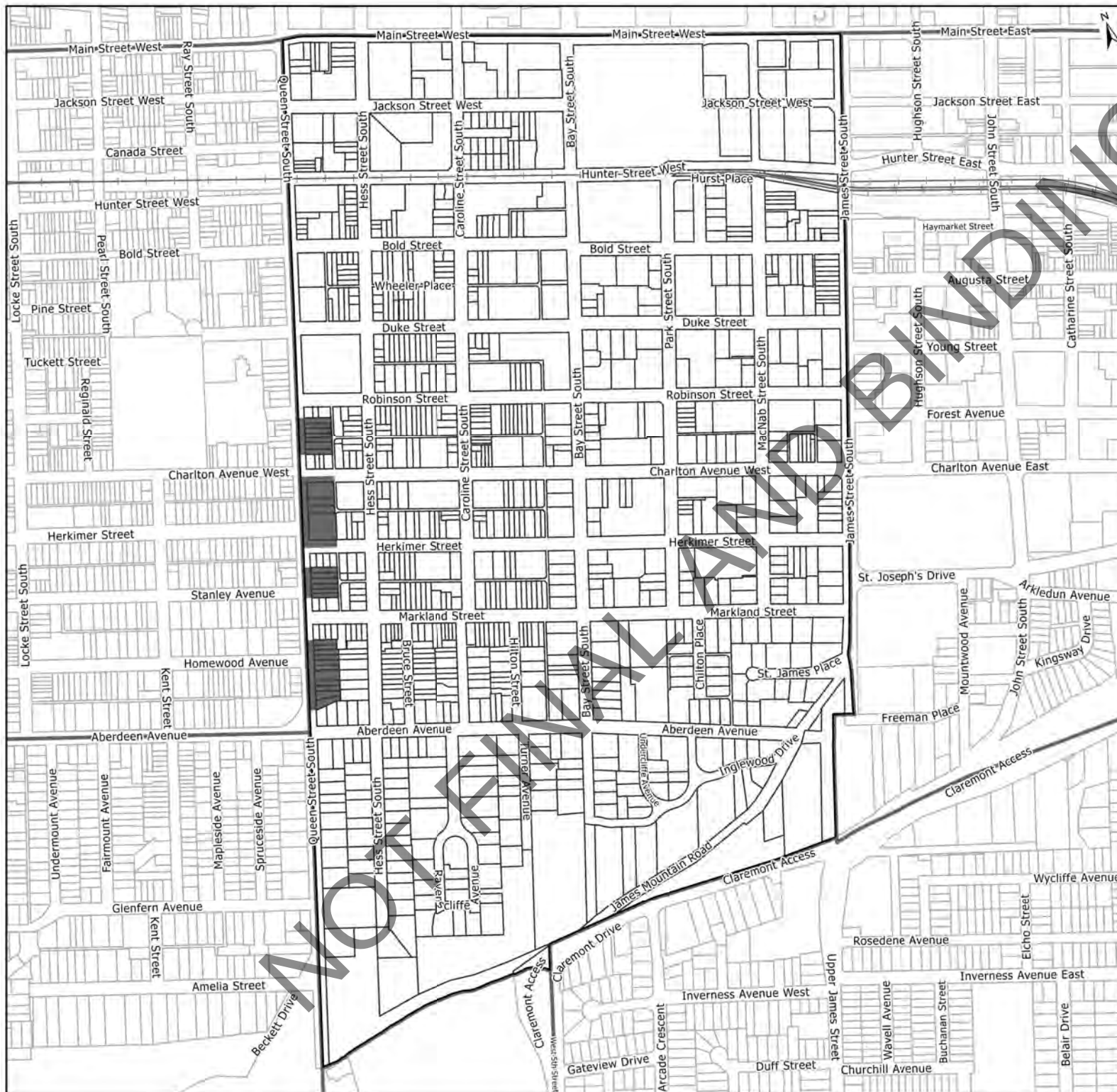
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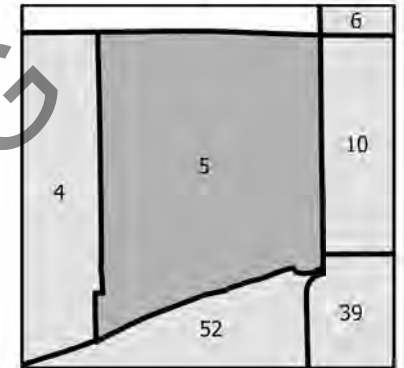
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A5 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
952, 953, 994, 995, 1038, 1039

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CI-25-C

Date:

October 8th, 2025

Planner/Technician:

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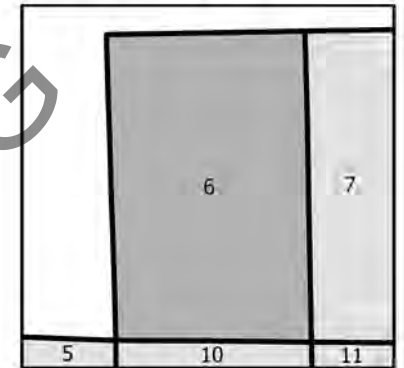
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A6 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
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Date:
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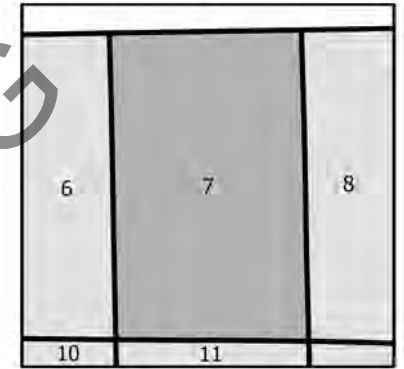
Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton

Schedule A7 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
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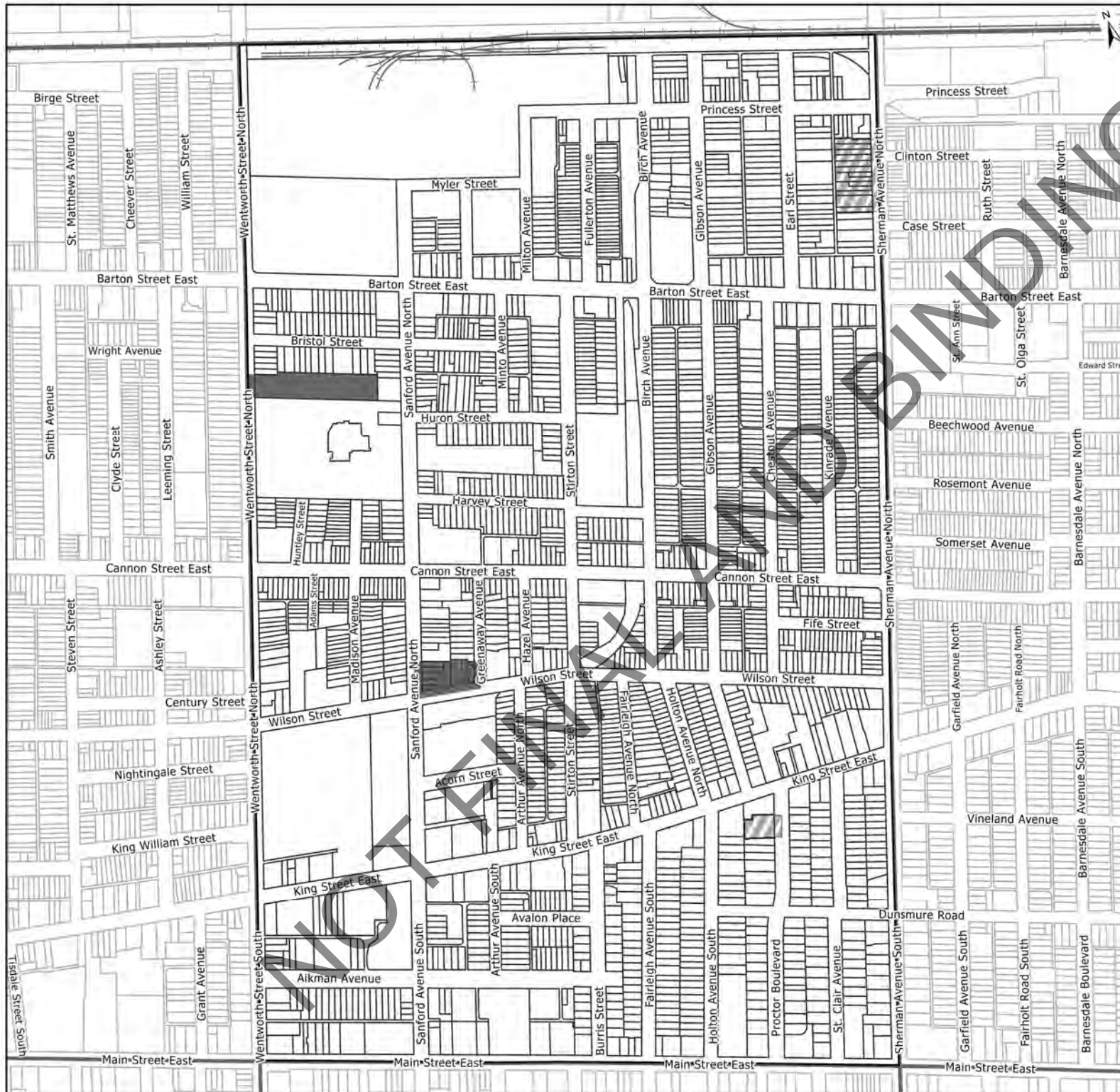
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Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



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Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
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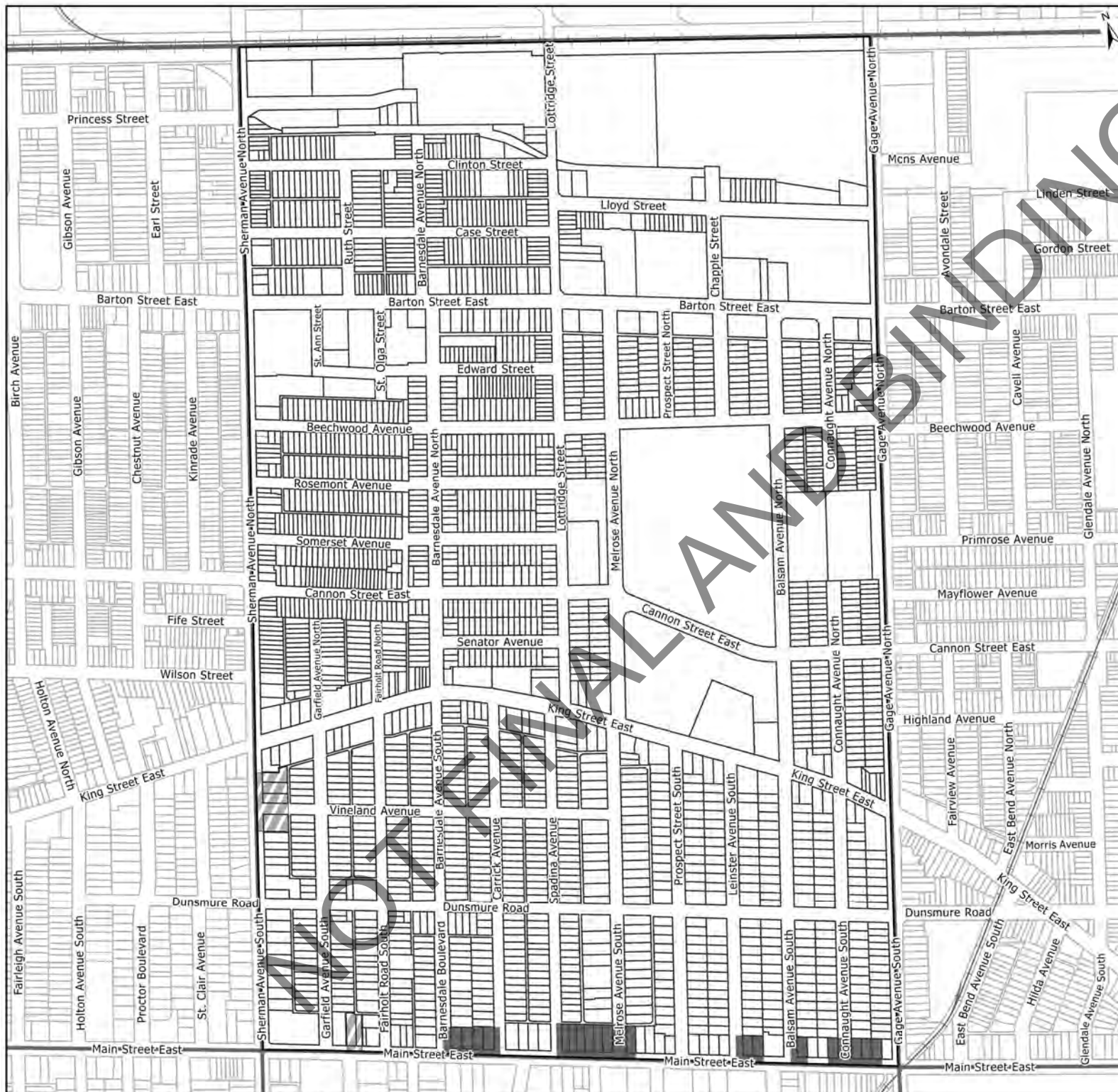
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Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



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 Mid Rise Residential - Small Scale (R3) Zone
 Mid Rise Residential - (R4) Zone
 Mid Rise Residential - Large Scale (R4a) Zone

Clerk

Passed the day of, 2025

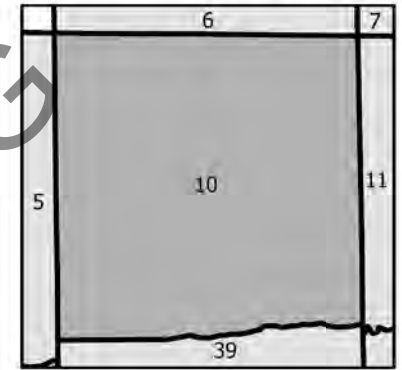
to Amend By-law No. 05-200 Maps:
956, 957, 998, 999, 1042, 1043

Planner/Technician:	MS/EY
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Hamilton

Schedule A10 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
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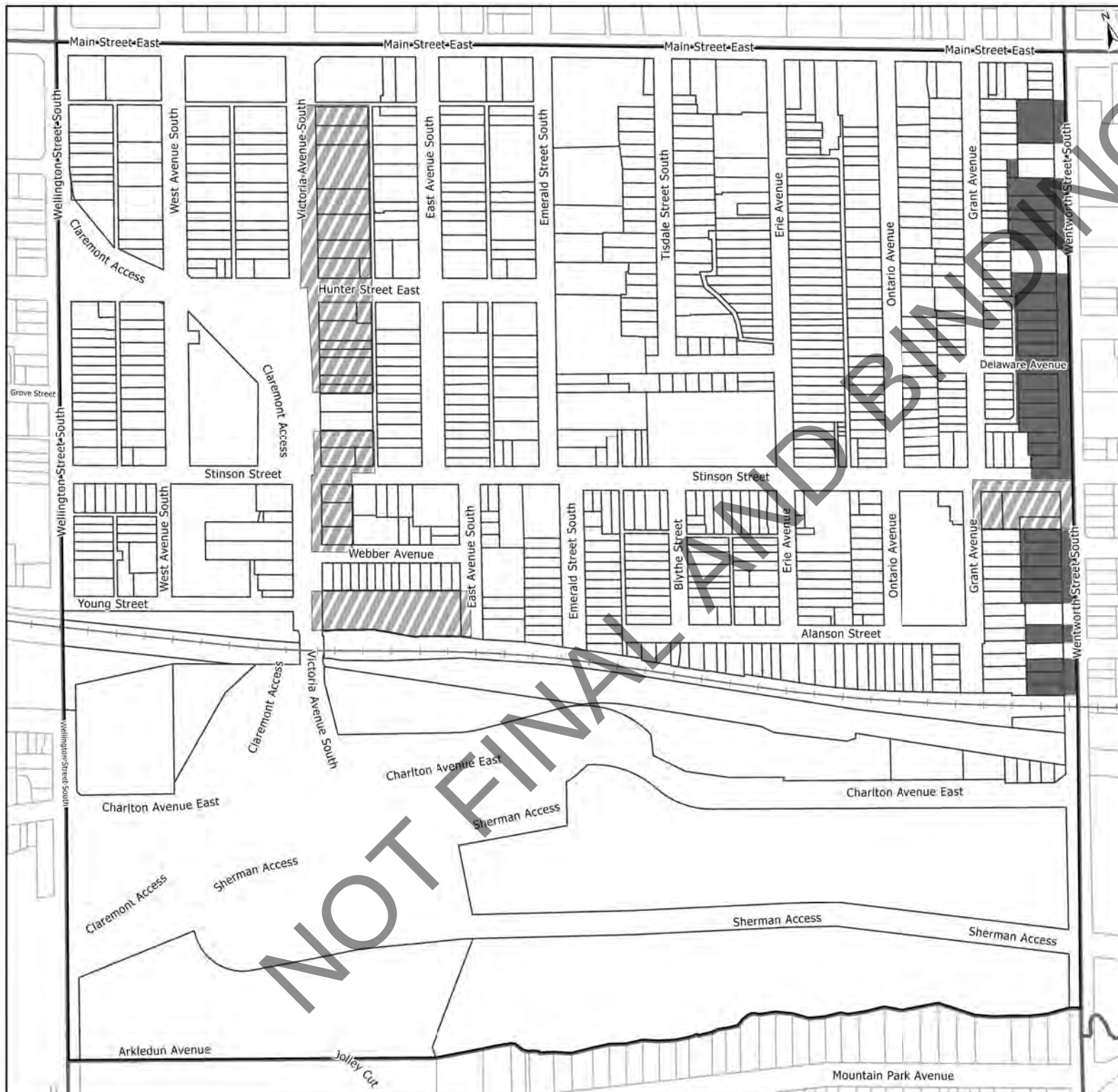
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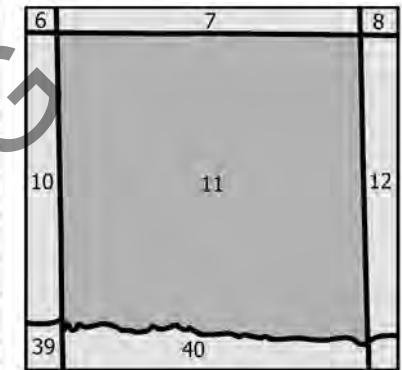
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A11 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
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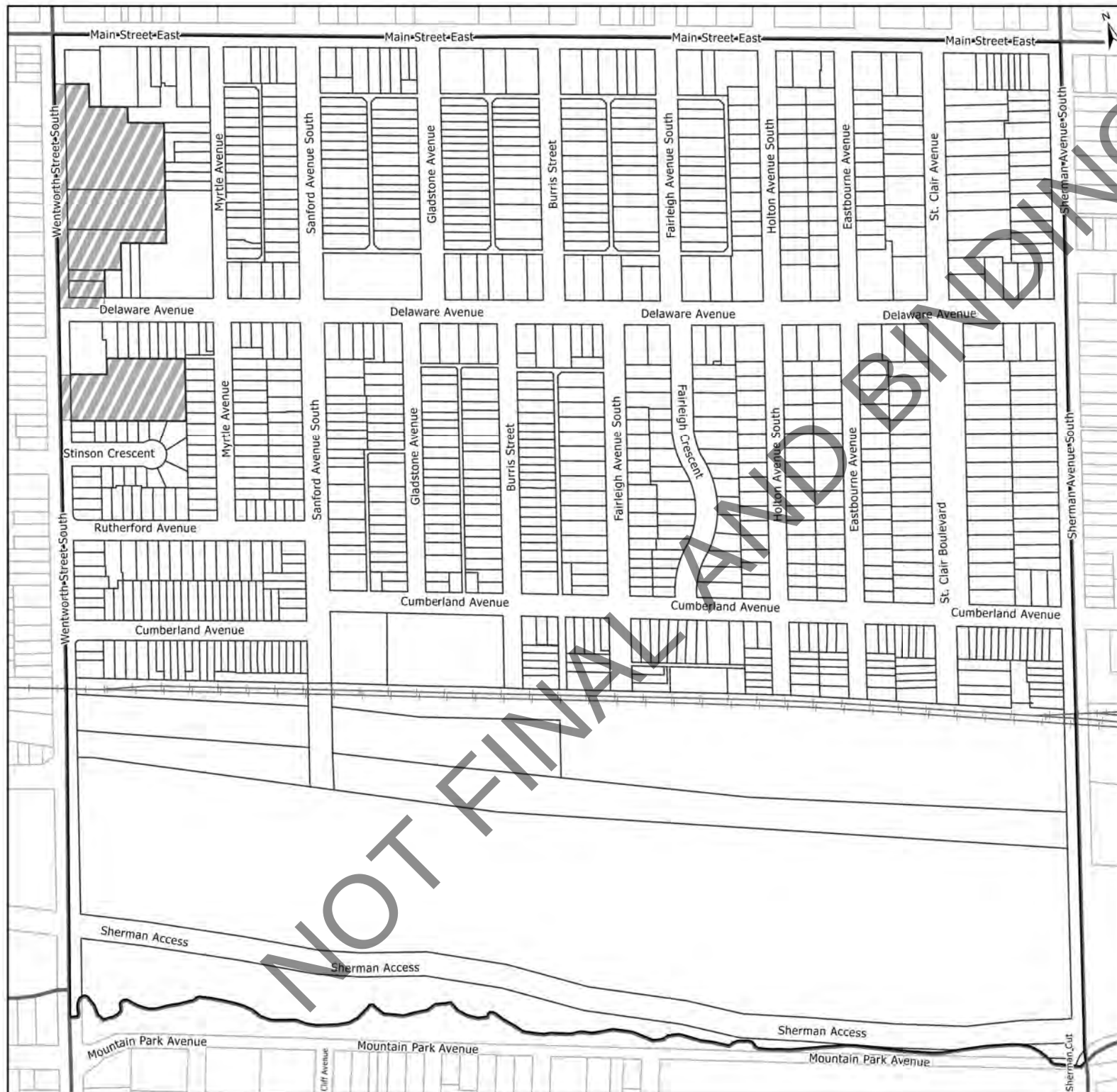
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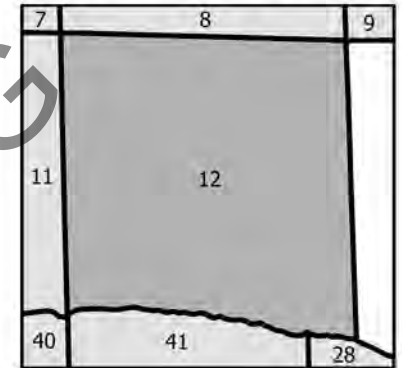
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A12 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
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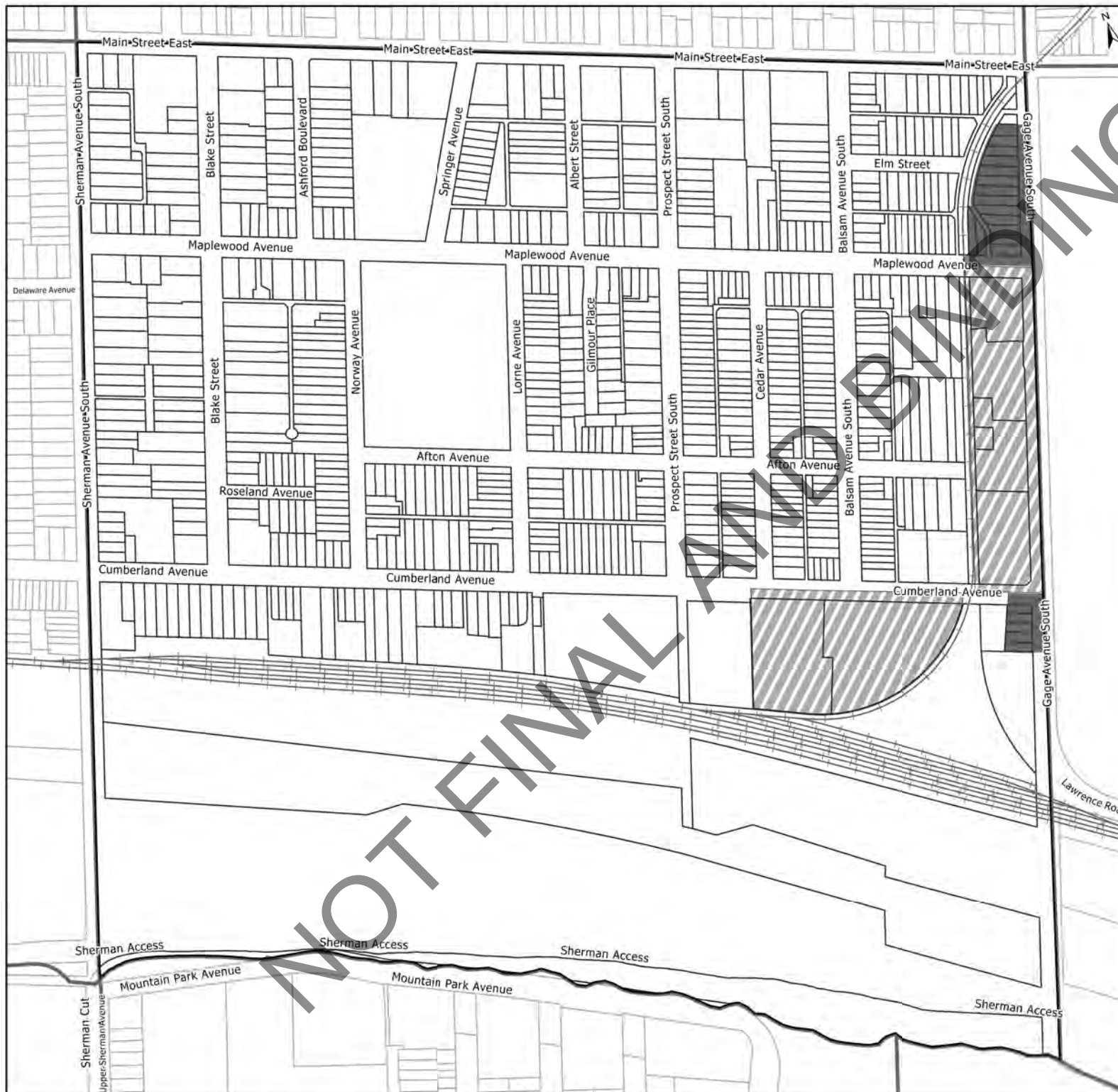
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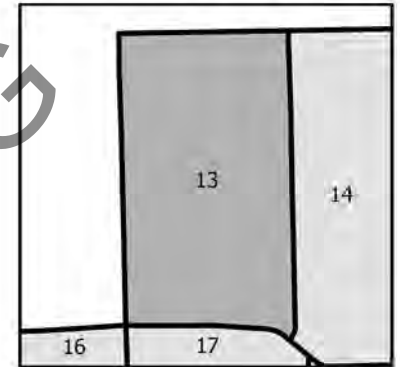
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A13 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
958, 1000, 1001, 1044, 1045, 1090, 1091

Scale:
N.T.S

File Name/Number:
CI-25-C

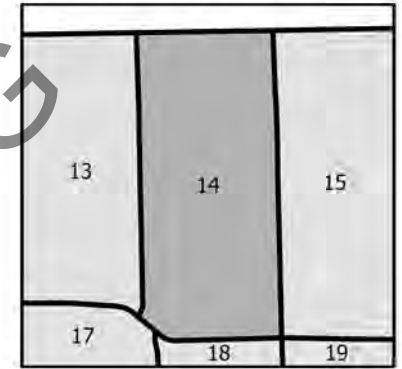
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A14 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-

Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1001, 1002, 1045, 1046, 1090, 1091, 1140

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

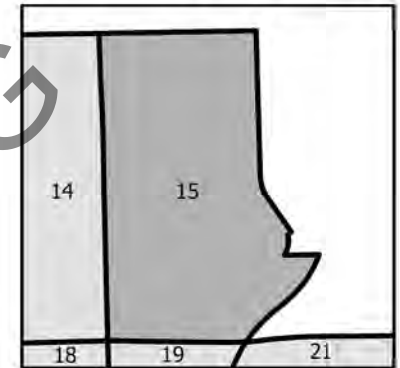
Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton

Schedule A15 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1002, 1045, 1046, 1047, 1091, 1092, 1093,
1140, 1141

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

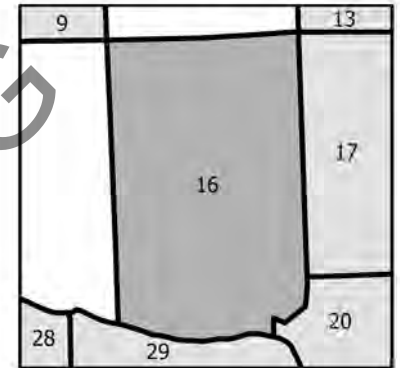
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A16 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1043, 1044, 1089, 1090, 1137 1138

Scale:
N.T.S

File Name/Number:
CI-25-C

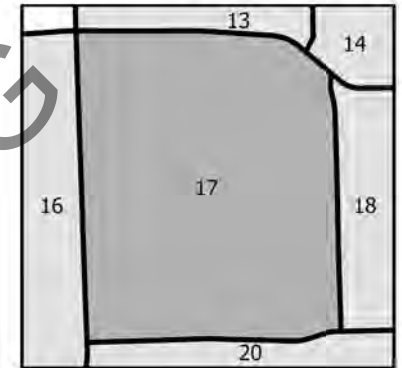
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A17 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1089, 1090, 1091, 1138, 1139

Scale:
N.T.S

File Name/Number:
CI-25-C

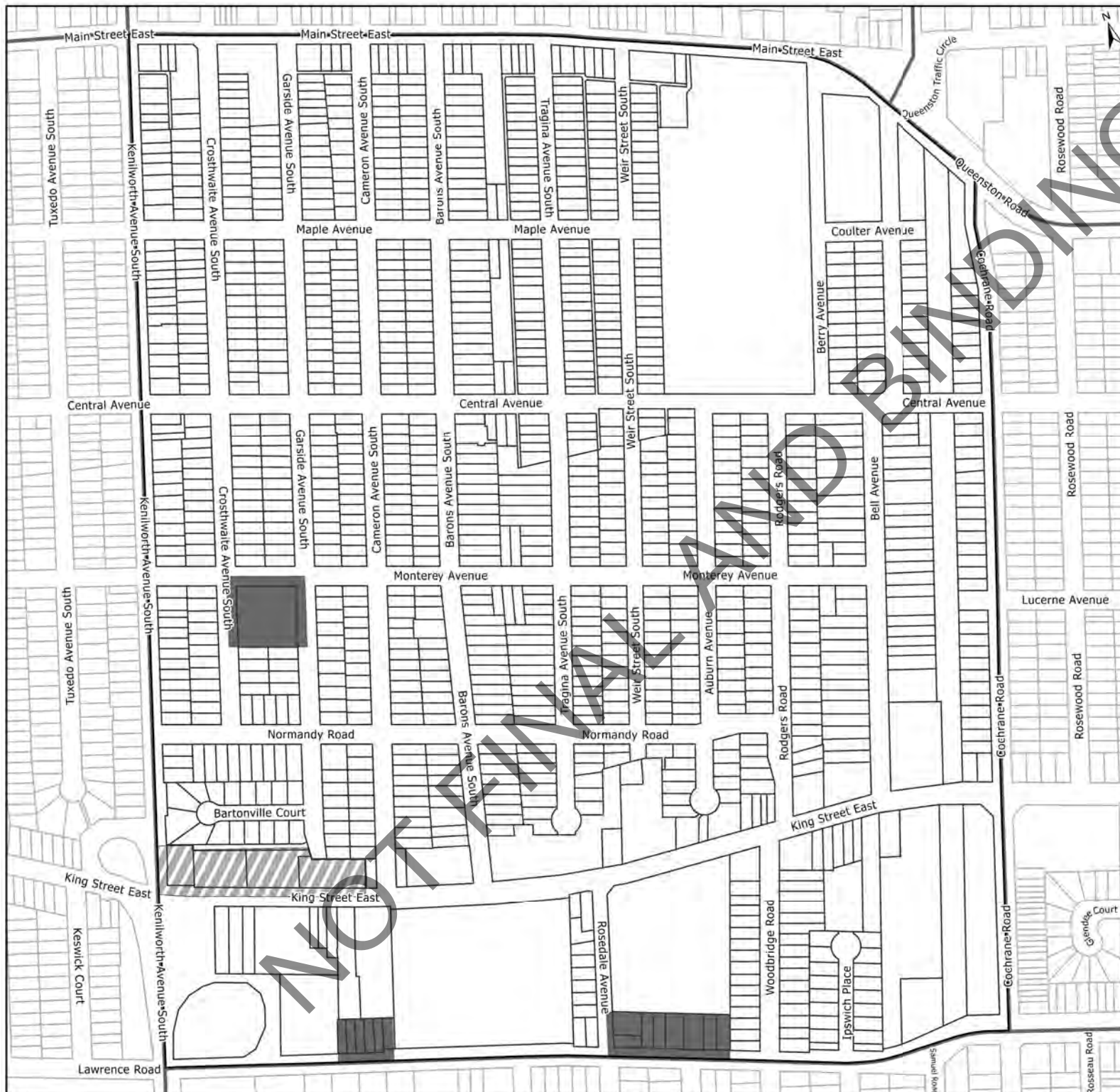
Date:
October 8th, 2025

Planner/Technician:
MS/EY

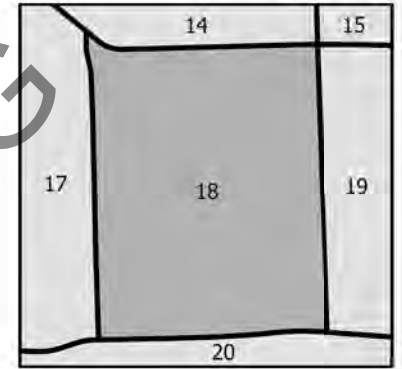
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A18 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1090, 1091, 1139, 1140, 1190, 1191

Scale:
N.T.S

File Name/Number:
CI-25-C

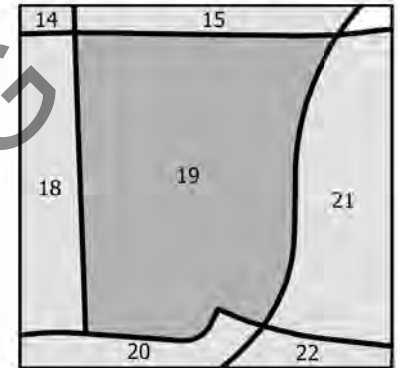
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A19 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1140, 1141, 1191, 1192

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

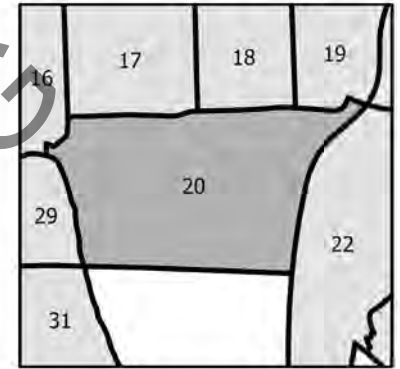
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A20 of A80



Lands to be added to Zoning By-law No. 05-200 as:

- Mid Rise Residential - Small Scale (R3) Zone
- Mid Rise Residential - (R4) Zone
- Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1138, 1139, 1189, 1190, 1191, 1243, 1244,
1245

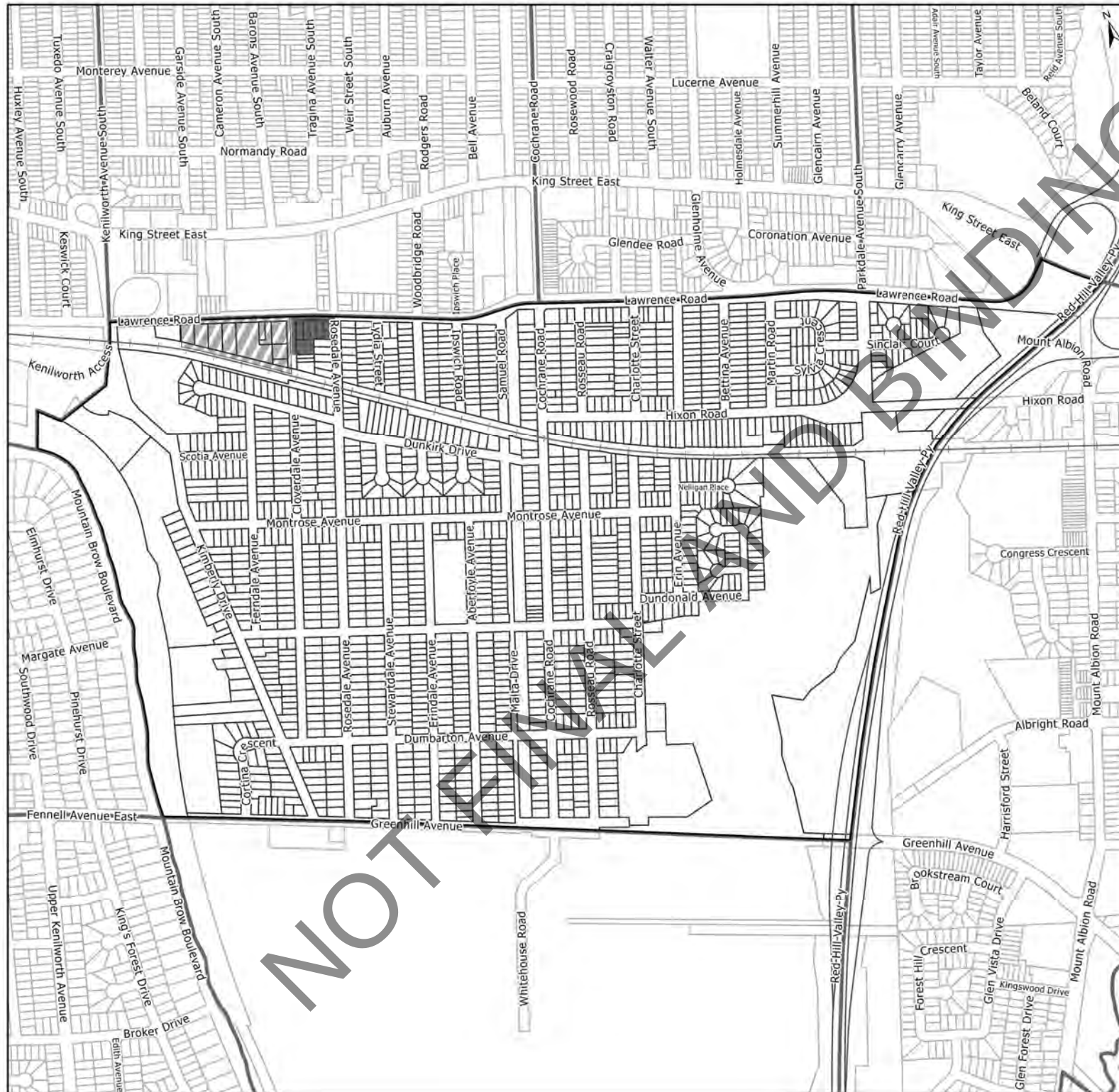
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File Name/Number:
CI-25-C

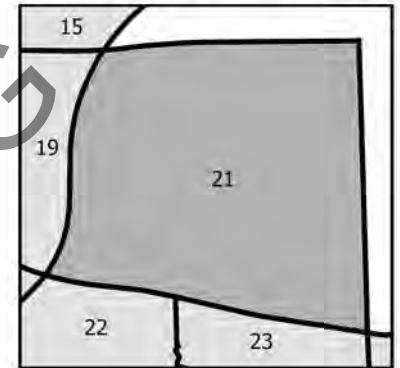
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A21 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1141, 1142, 1191, 1192, 1193, 1246, 1247

Scale:
N.T.S

File Name/Number:
CI-25-C

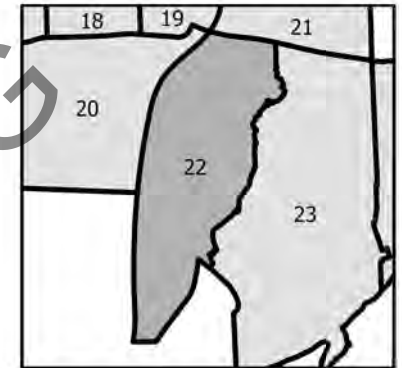
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A22 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

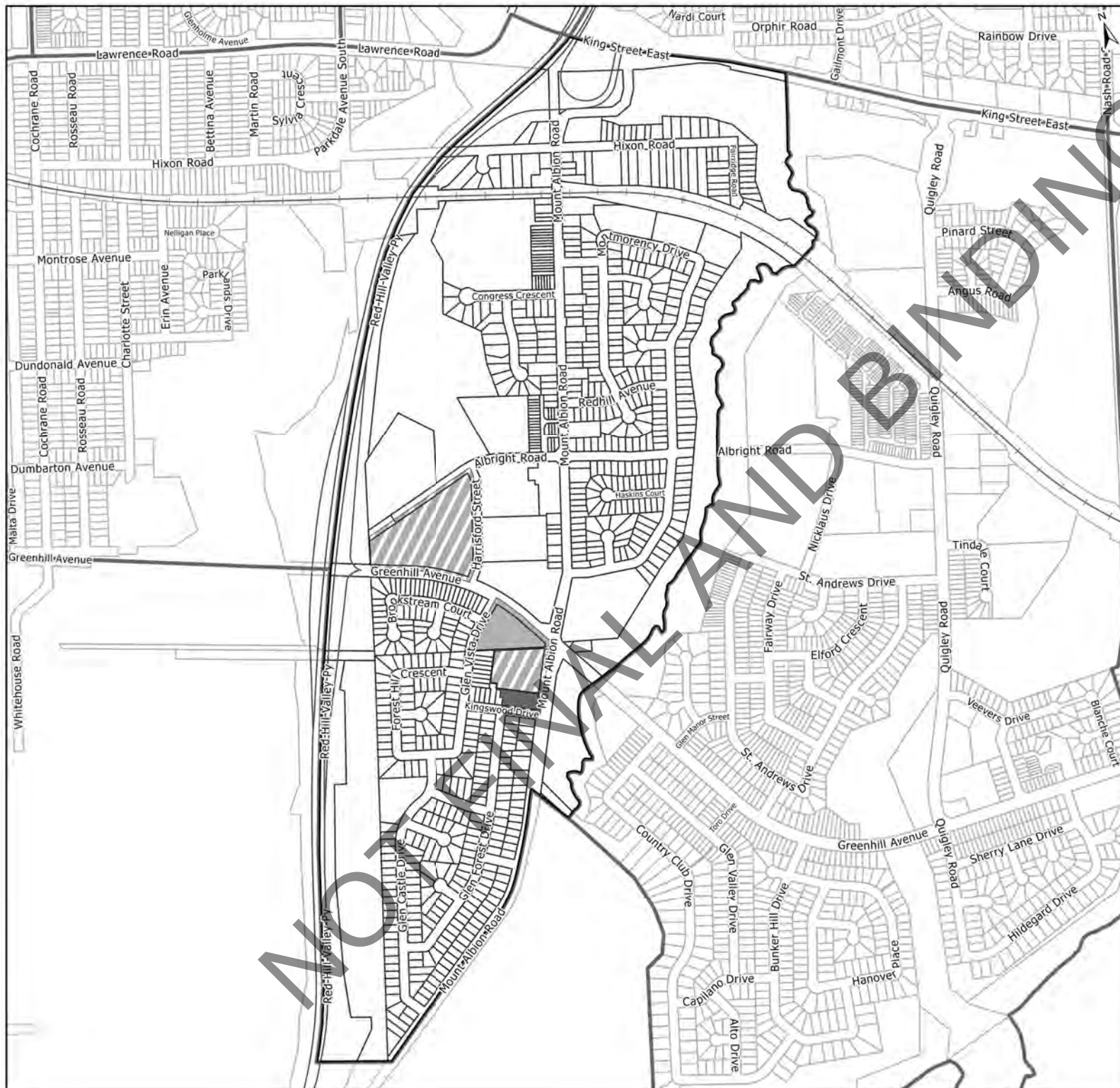
Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

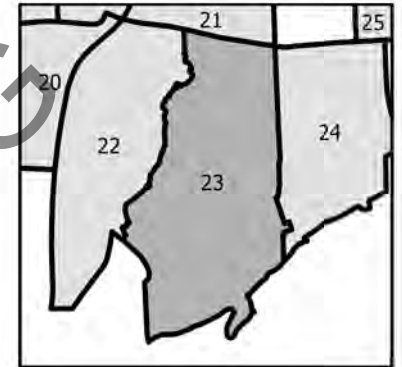
Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1191, 1192, 1245, 1246, 1297, 1298, 1350,
1351

Scale: N.T.S	File Name/Number: CI-25-C	
Date: October 8th, 2025	Planner/Technician: MS/EY	
PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT		



Schedule A23 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-

Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1192, 1245, 1246, 1247, 1298, 1299, 1351,
1352, 1403, 1404

Scale:
N.T.S

File Name/Number:
CI-25-C

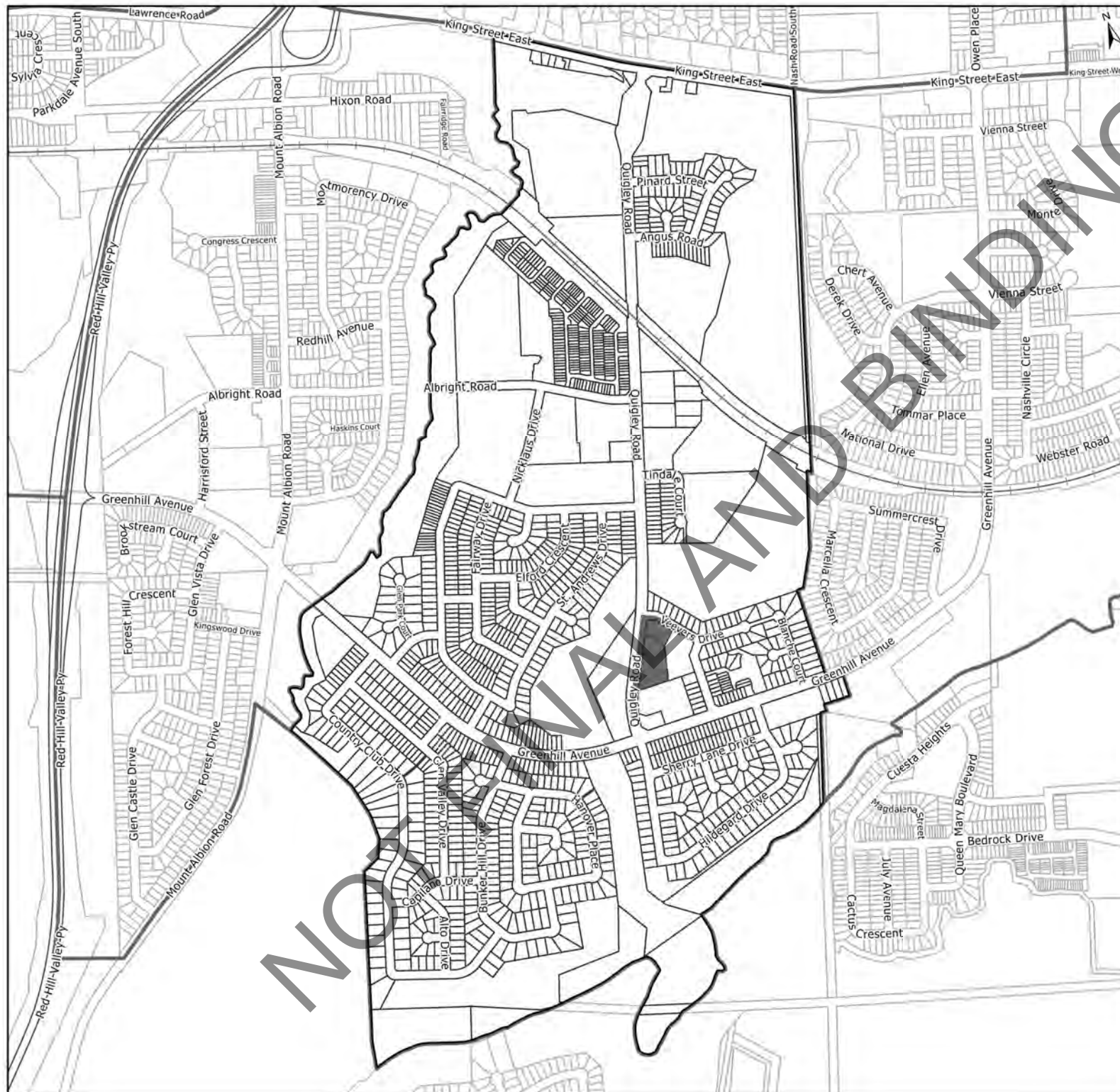
Date:
October 8th, 2025

Planner/Technician:
MS/EY

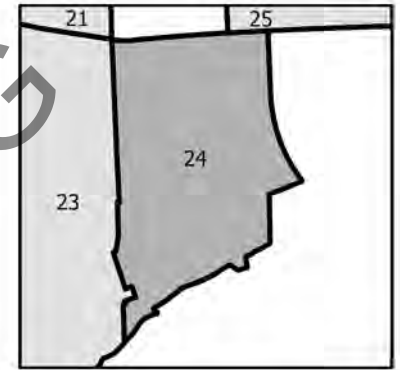
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A24 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-

Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1246, 1247, 1248, 1299, 1300, 1352, 1353

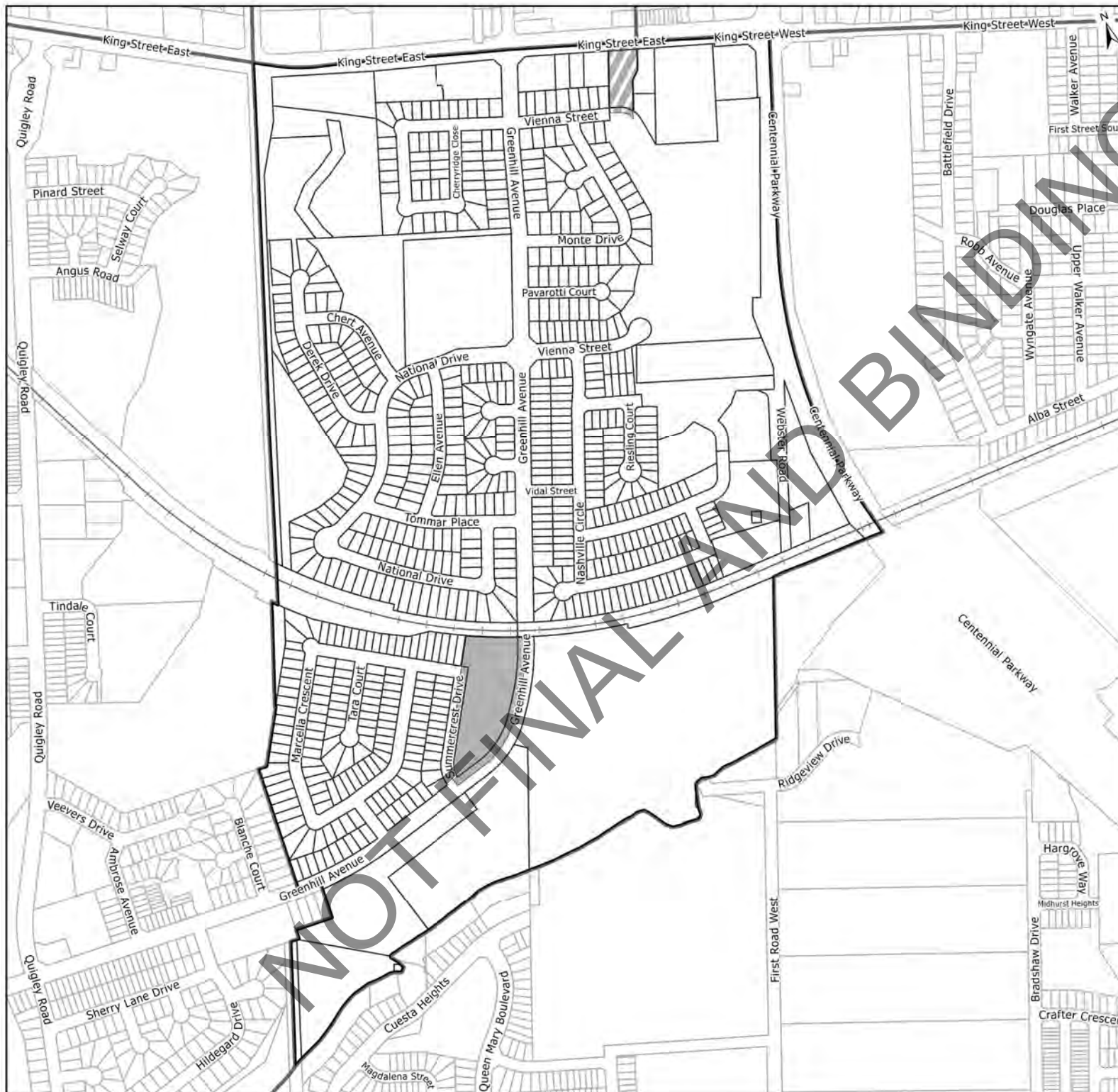
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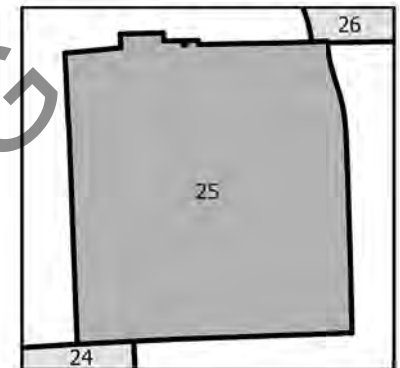
File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A25 of A80

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1143, 1193, 1194, 1195, 1247, 1248, 1249

Scale:
N.T.S

File Name/Number:
CI-25-C

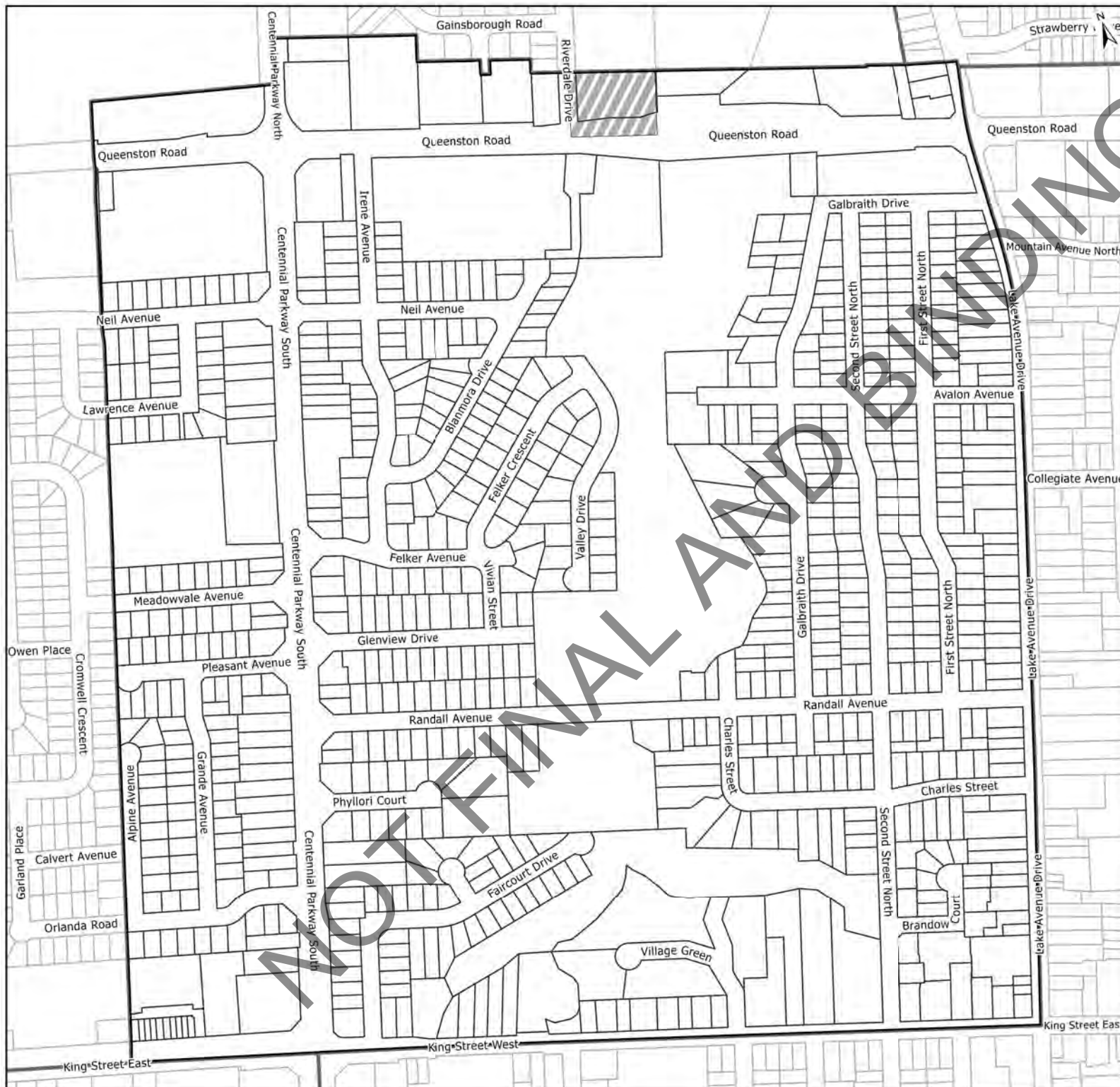
Date:
October 8th, 2025

Planner/Technician:
MS/EY

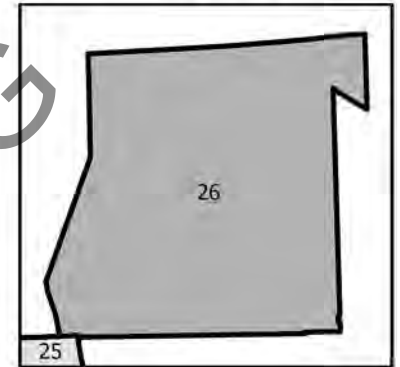
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A26 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1095, 1144, 1145, 1195, 1196

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

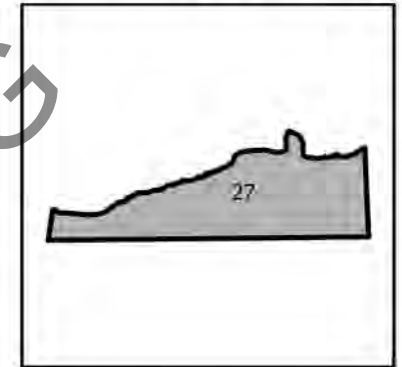
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton

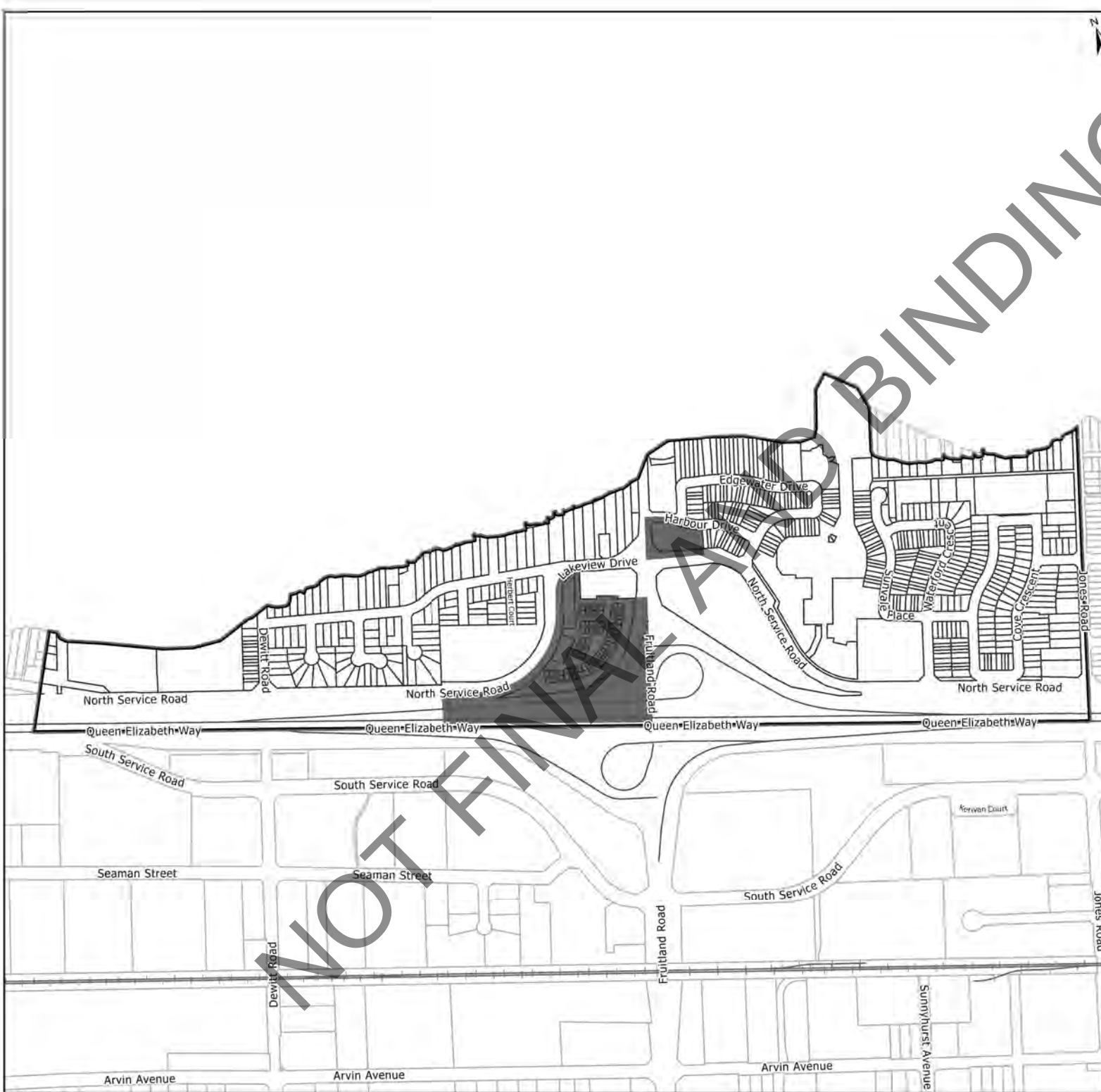


Schedule A27 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone



Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1099, 1100, 1101, 1148, 1149, 1150

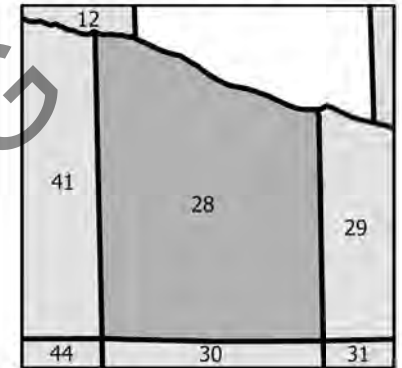
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Date: October 8th, 2025	Planner/Technician: MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton

Schedule A28 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

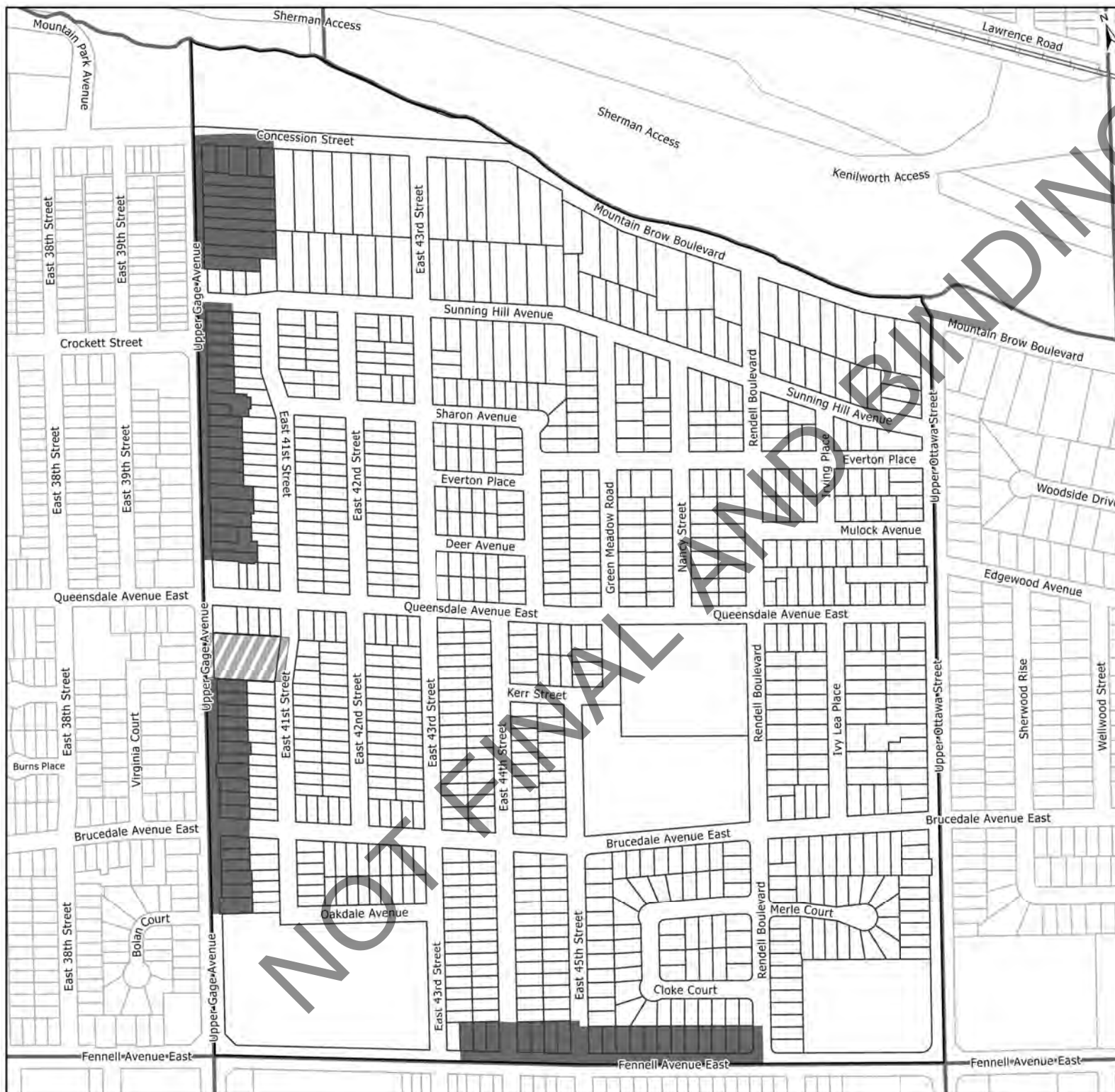
Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1087, 1088, 1136, 1137, 1187, 1188

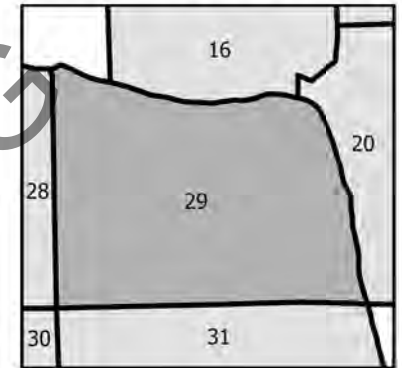
Scale:
N.T.S. File Name/Number:
CI-25-C

Date:
October 8th, 2025 Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A29 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1137, 1138, 1188, 1189, 1243

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A30 of A80

41	28	29
44	30	31
47	32	33

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1187, 1188, 1241, 1242, 1294, 1295

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



	29	20
30	31	
32	33	

 Mid Rise Residential - Small Scale (R3) Zone
 Mid Rise Residential - (R4) Zone
 Mid Rise Residential - Large Scale (R4a) Zone

Clerk

Map forming Part of
By-law No. 25-_____

Date: October 8th, 2025	Planner/Technician: MS/EY
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Hamilton

Schedule A32 of A80

44	30	31
47	32	33
34	35	

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1241, 1293, 1294, 1295, 1346 1347

Scale:
N.T.S

File Name/Number:
CI-25-C

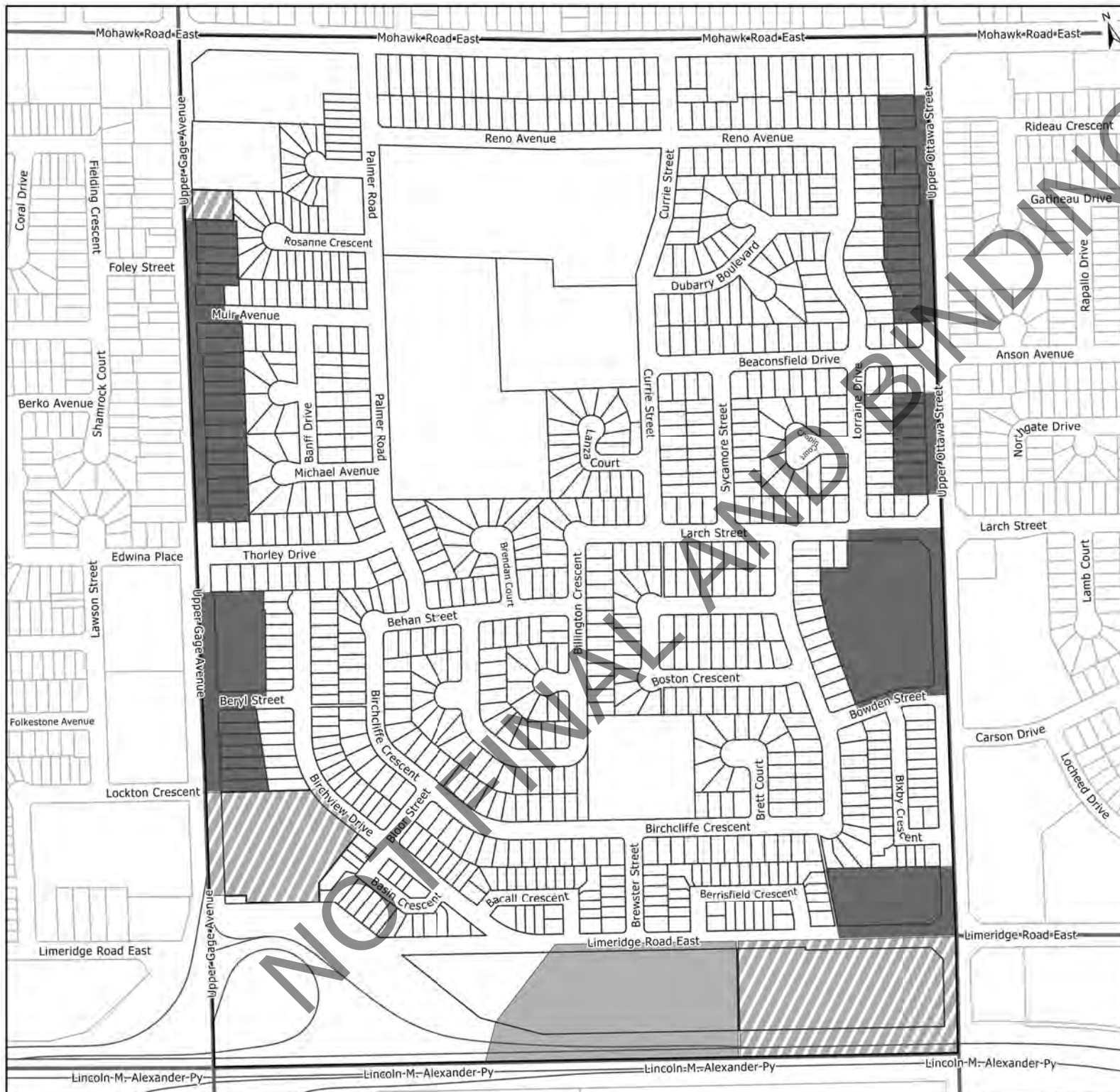
Date:
October 8th, 2025

Planner/Technician:
MS/EY

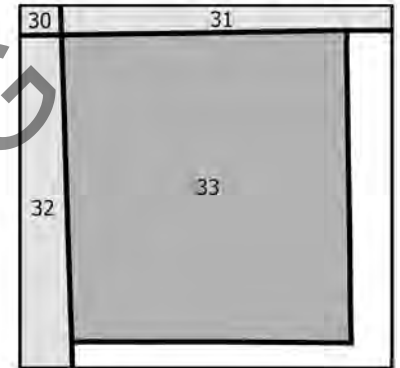
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A33 of A80



Lands to be added to Zoning By-law No. 05-200 as:

- Mid Rise Residential - Small Scale (R3) Zone
- Mid Rise Residential - (R4) Zone
- Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-

Passed the day of, 2025

Map forming Part of
By-law No. 25-

to Amend By-law No. 05-200 Maps:
1294, 1295, 1296, 1347, 1348, 1349, 1400

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton

Schedule A34 of A80

46	47	32
49	34	35
51	36	37

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1345, 1346, 1397, 1398

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A35 of A80

47	32
34	35
36	37

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1346, 1347, 1398, 1399, 1450

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
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Hamilton



Schedule A36 of A80

49	34	
51	36	37
		38

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1397, 1398, 1448, 1449, 1497 1498

Scale:
N.T.S

File Name/Number:
CI-25-C

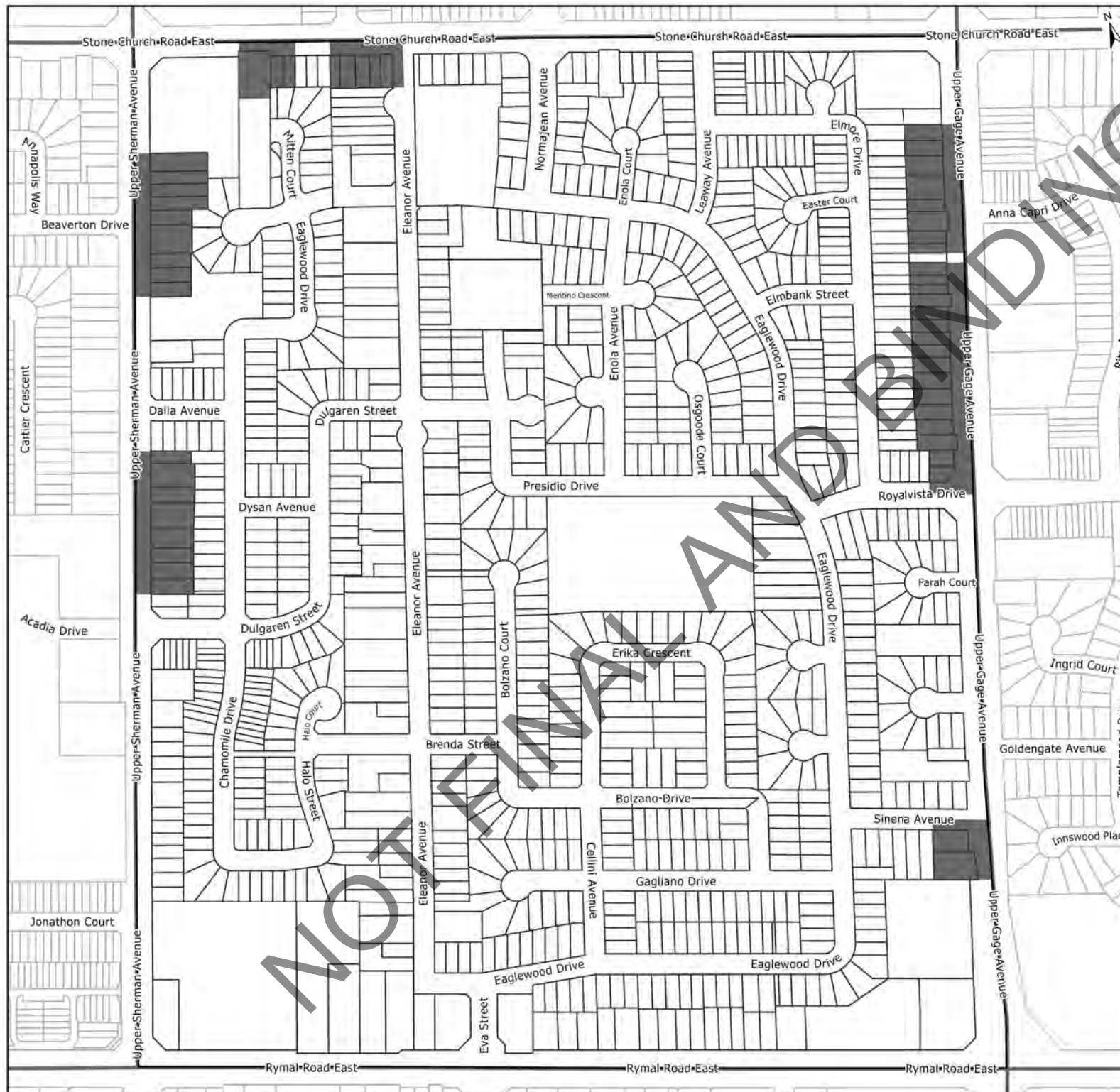
Date:
October 8th, 2025

Planner/Technician:
MS/EY

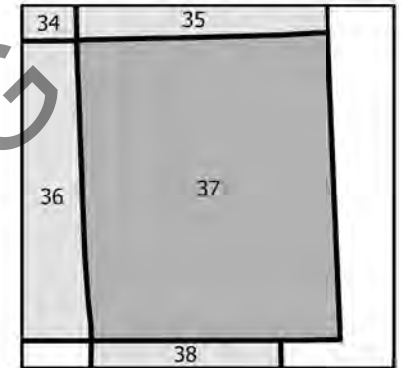
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A37 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1398, 1399, 1449, 1450, 1498 1499

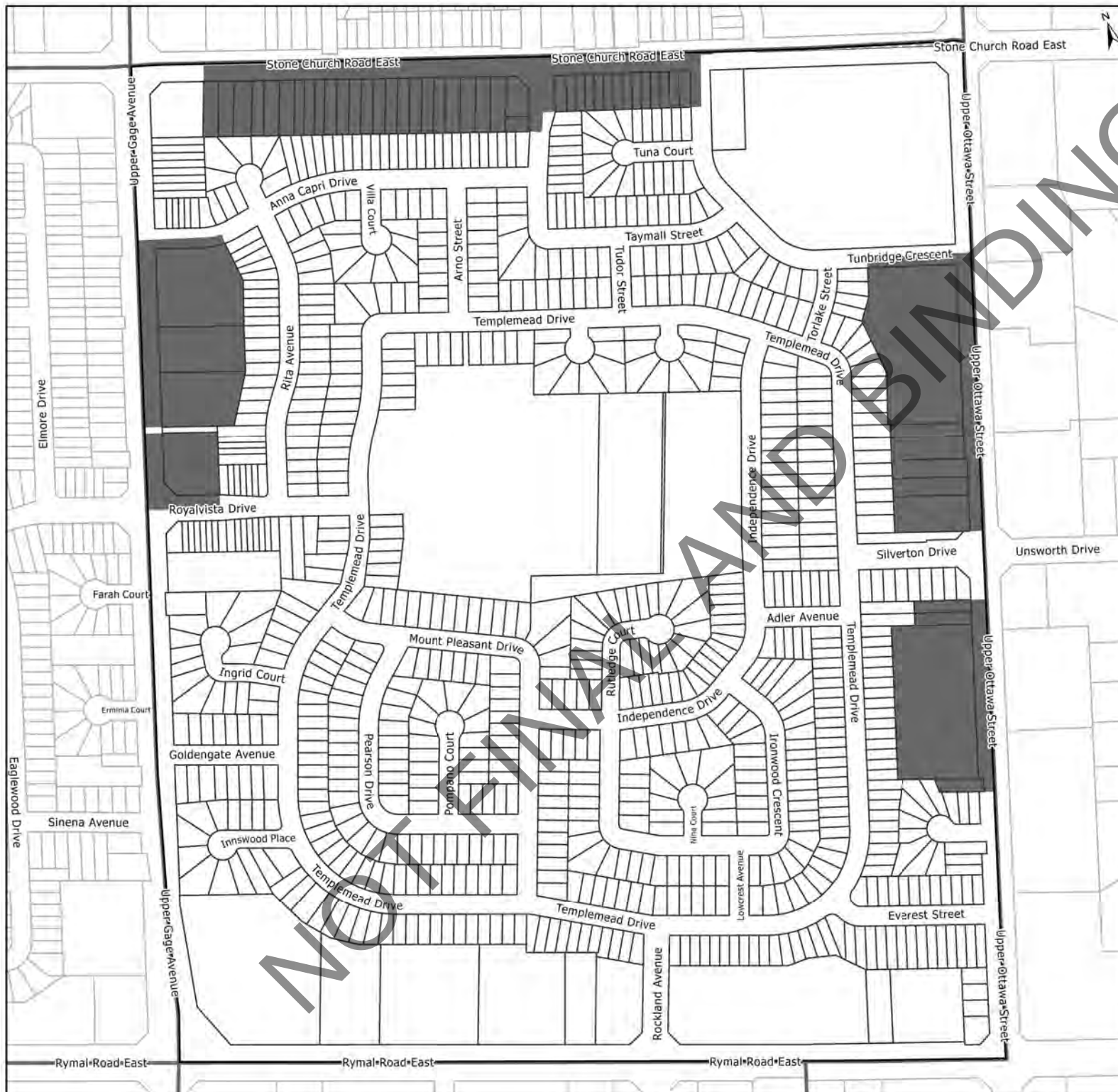
Scale: N.T.S. File Name/Number: CI-25-C

Date: October 8th, 2025 Planner/Technician: MS/EY

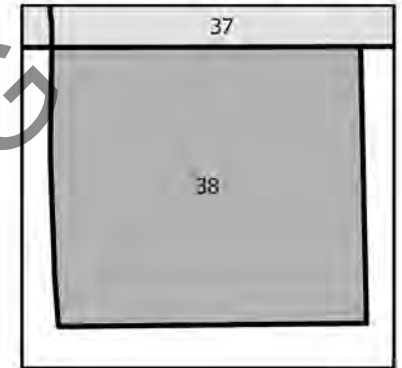
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A38 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1498, 1545

Scale:
N.T.S

File Name/Number:
CI-25-C

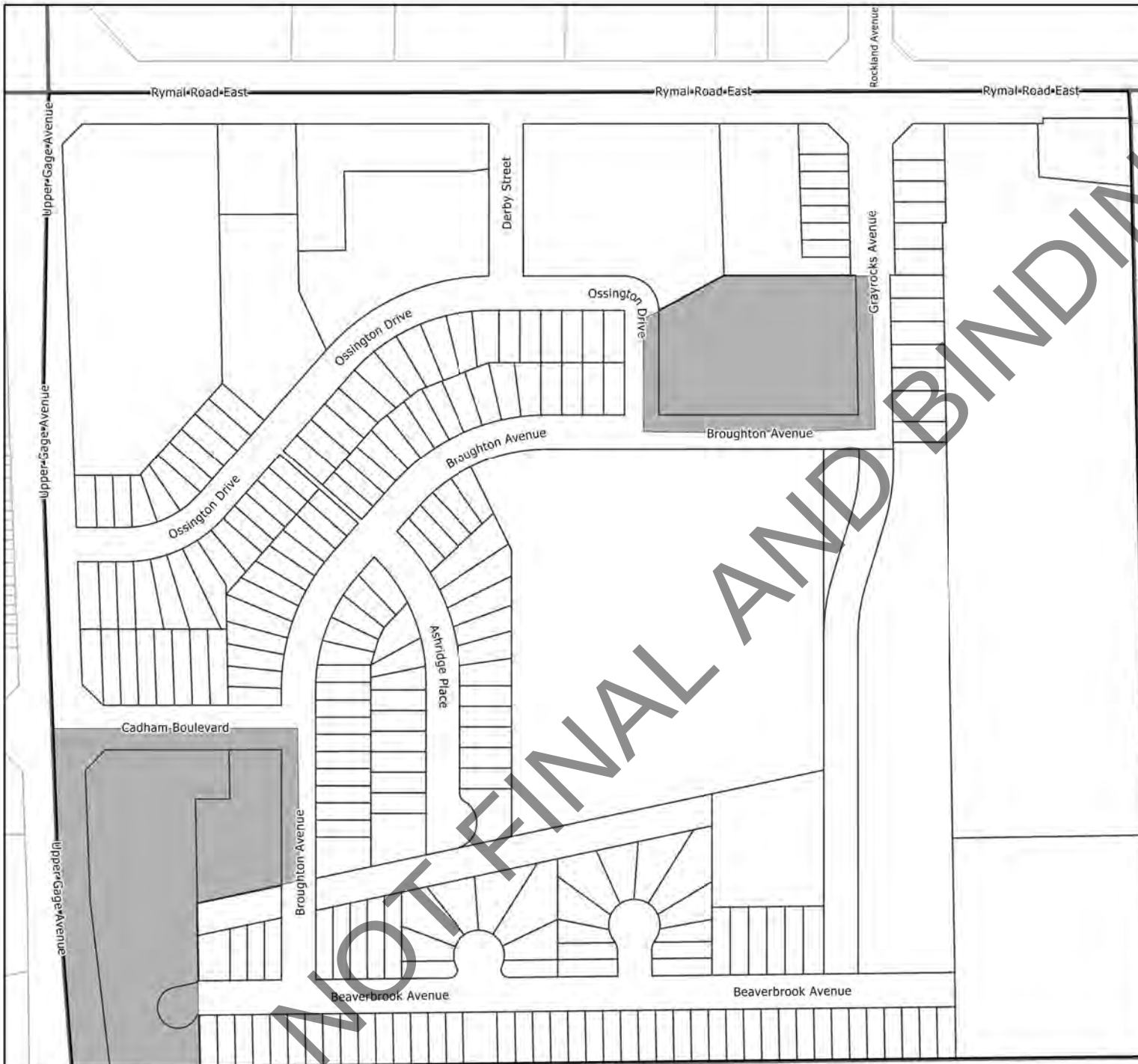
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A39 of A80

5	10	11
52	39	40
54	42	43

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1039, 1040, 1084, 1085, 1086, 1133, 1134

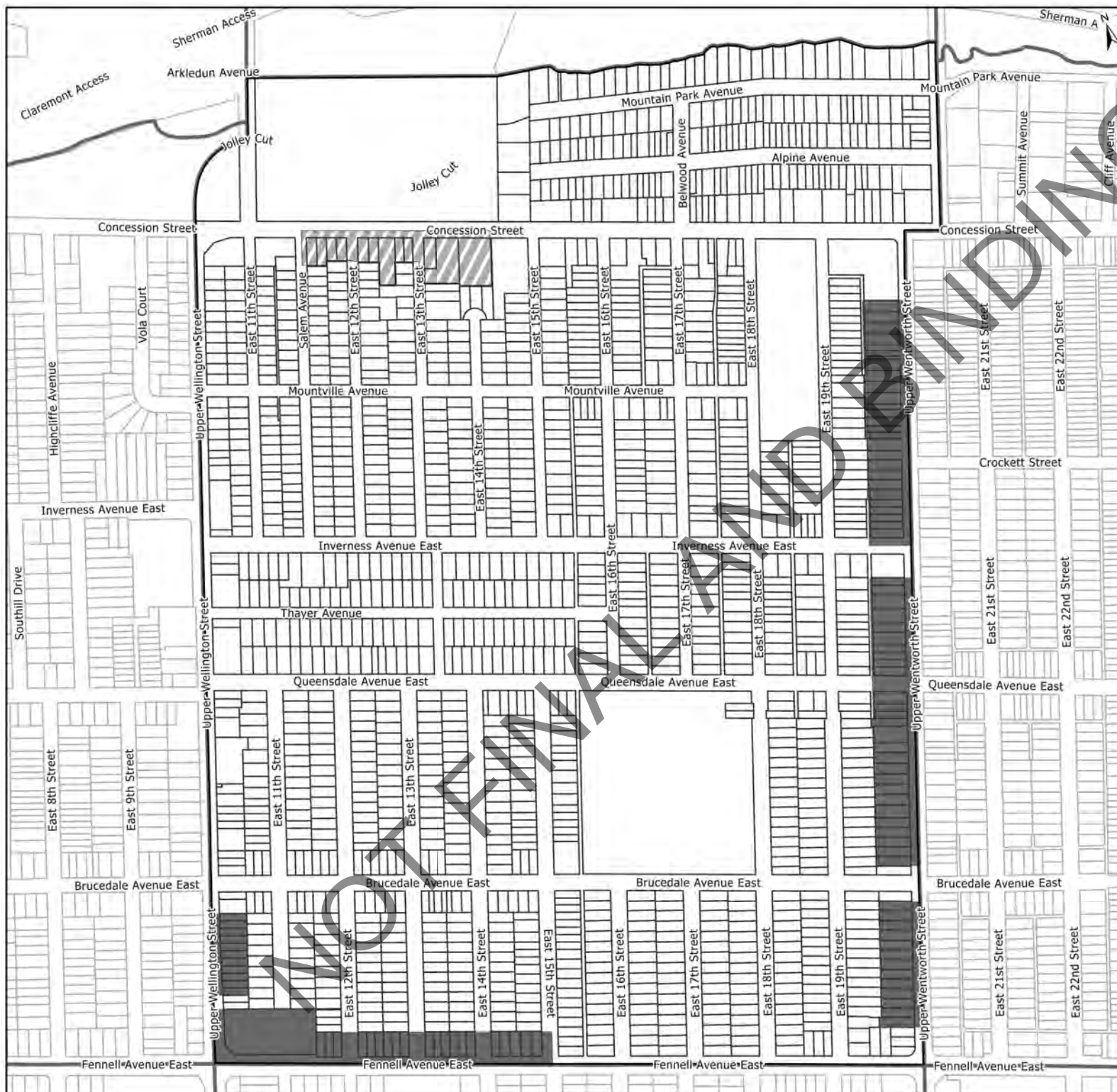
Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A40 of A80

10	11	12
39	40	41
42	43	44

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1040, 1085, 1086, 1087, 1134 1135

Scale:

N.T.S

File Name/Number:

CI-25-C

Date:

October 8th, 2025

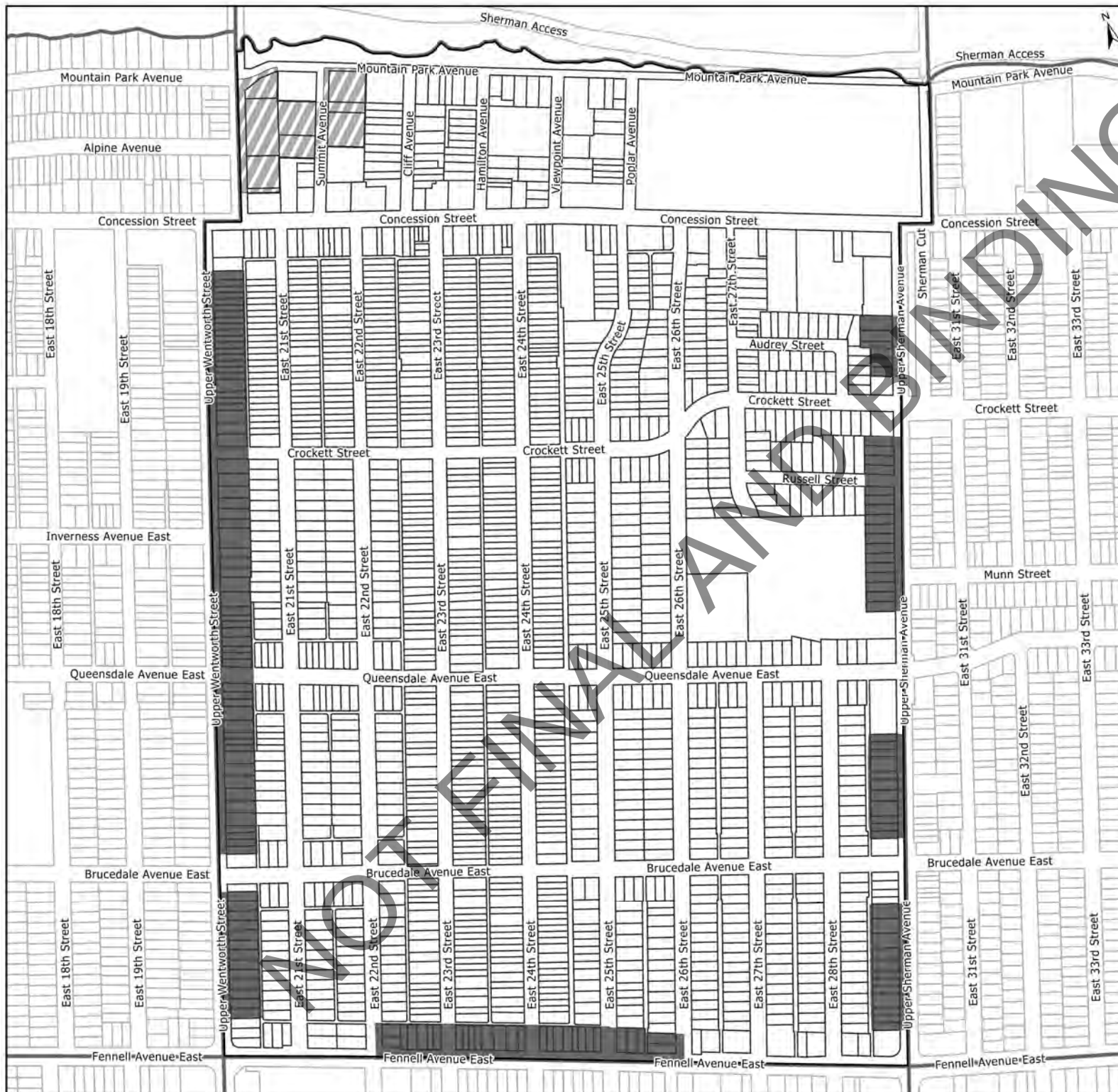
Planner/Technician:

MS/EY

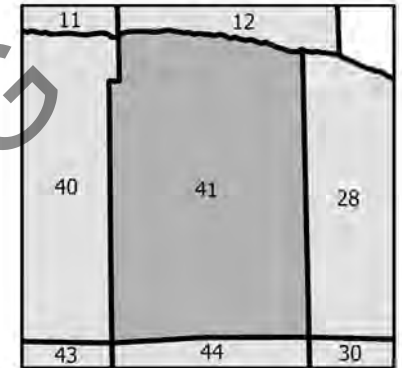
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A41 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

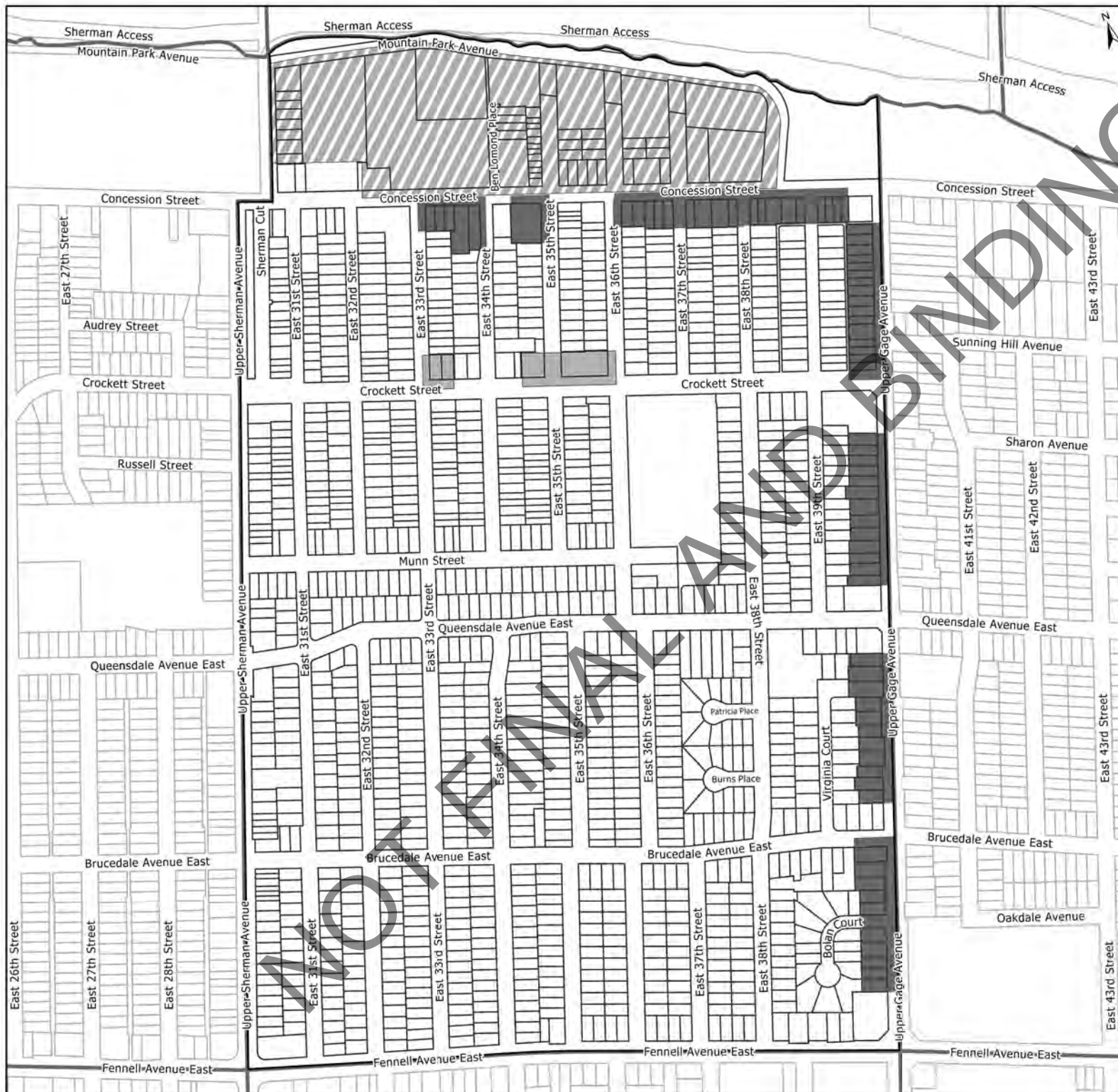
This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1086, 1087, 1135, 1136, 1187

Scale: N.T.S	File Name/Number: CI-25-C
Date: October 8th, 2025	Planner/Technician: MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A42 of A80

52	39	40
54	42	43
56	45	46

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1133, 1134, 1184, 1185

Scale: N.T.S	File Name/Number: CI-25-C
Date: October 8th, 2025	Planner/Technician: MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A43 of A80

39	40	41
42	43	44
45	46	47

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1134, 1135, 1185, 1186, 1239, 1240

Scale:
N.T.S

File Name/Number:
CI-25-C

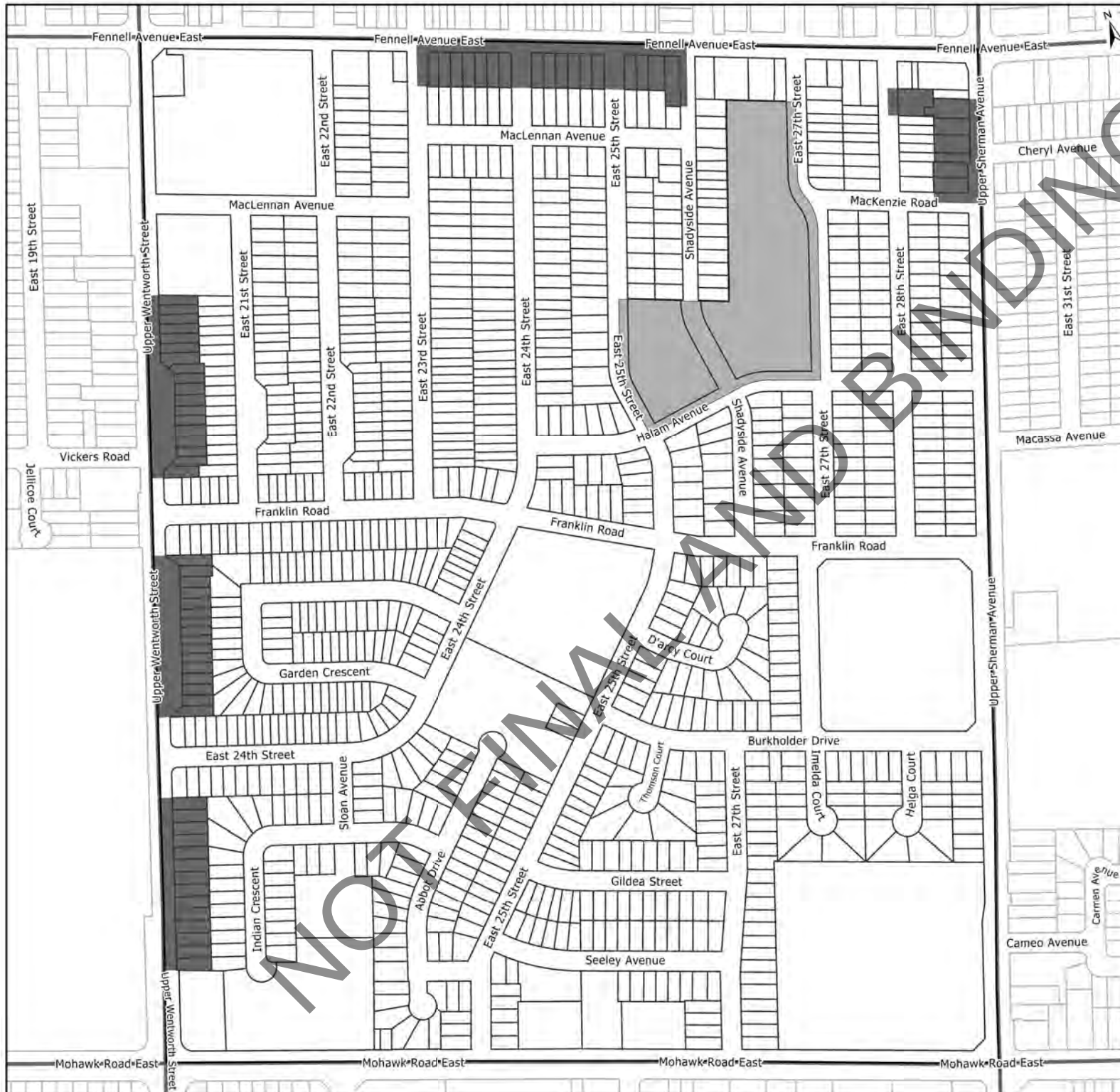
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A44 of A80

40	41	28
43	44	30
46	47	32

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1135, 1136, 1186, 1187, 1240, 1241

Scale: N.T.S	File Name/Number: CI-25-C
Date: October 8th, 2025	Planner/Technician: MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A45 of A80

54	42	43
56	45	46
58	48	49

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1184, 1185, 1238, 1239, 1291, 1292

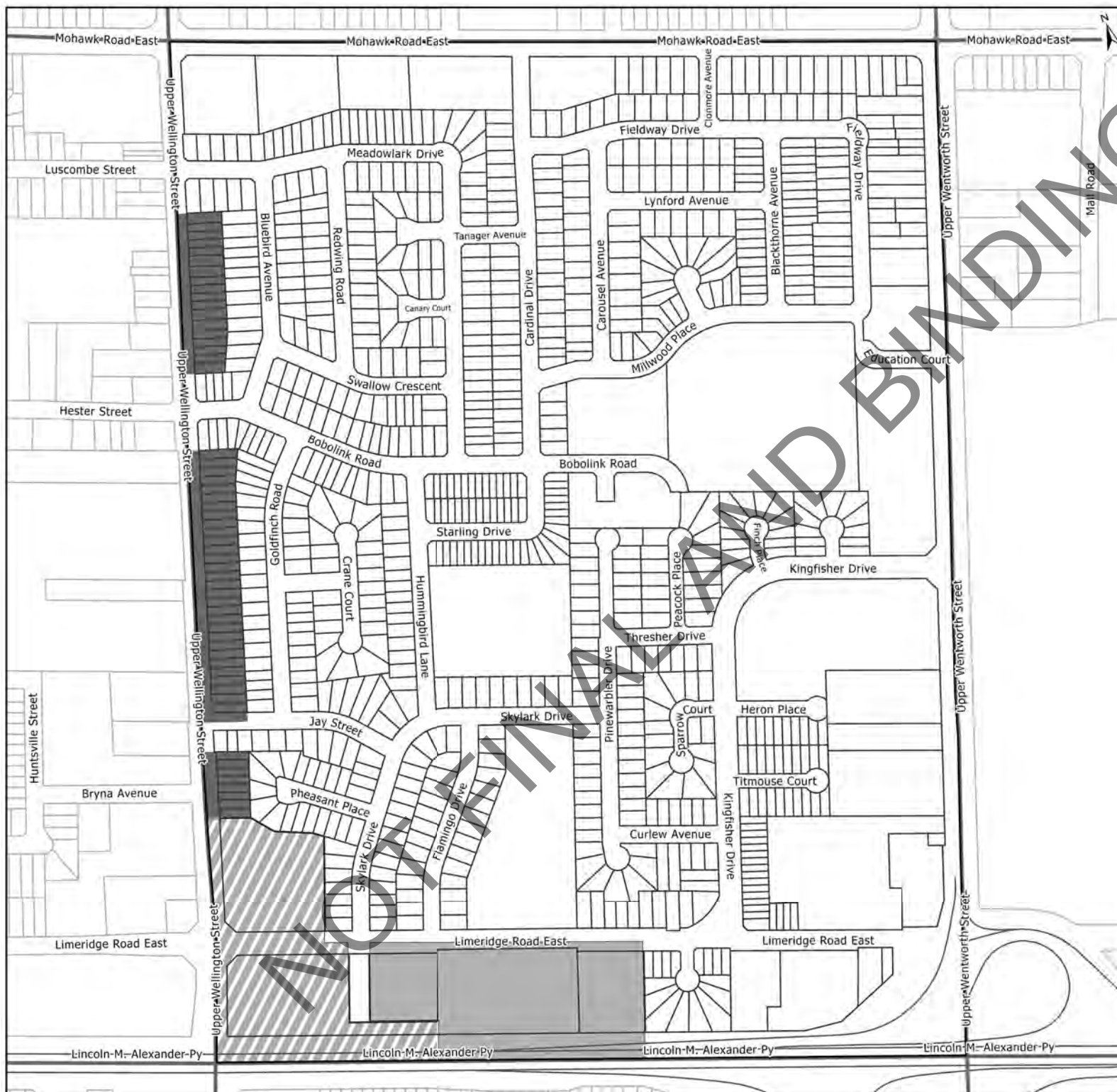
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File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A46 of A80

42	43	44
45	46	47
48	49	34

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1185, 1239, 1240, 1292, 1293, 1345, 1346

Scale:
N.T.S

File Name/Number:
CI-25-C

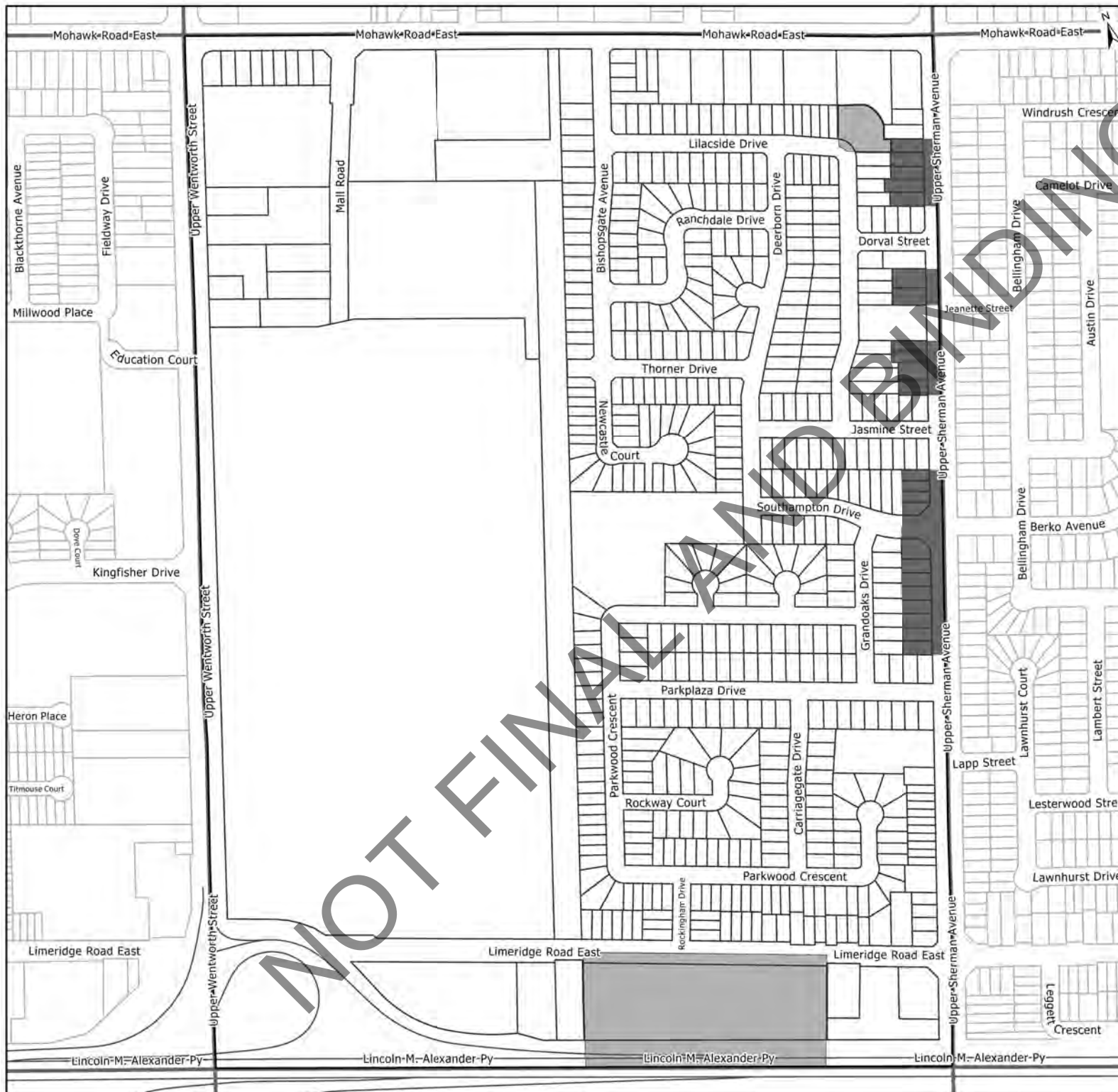
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A47 of A80

43	44	30
46	47	32
49	34	35

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1240, 1241, 1293, 1294, 1346

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A48 of A80

56	45	46
58	48	49
60	50	51

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1291, 1292, 1343, 1344, 1345 1396

Scale:
N.T.S

File Name/Number:
CI-25-C

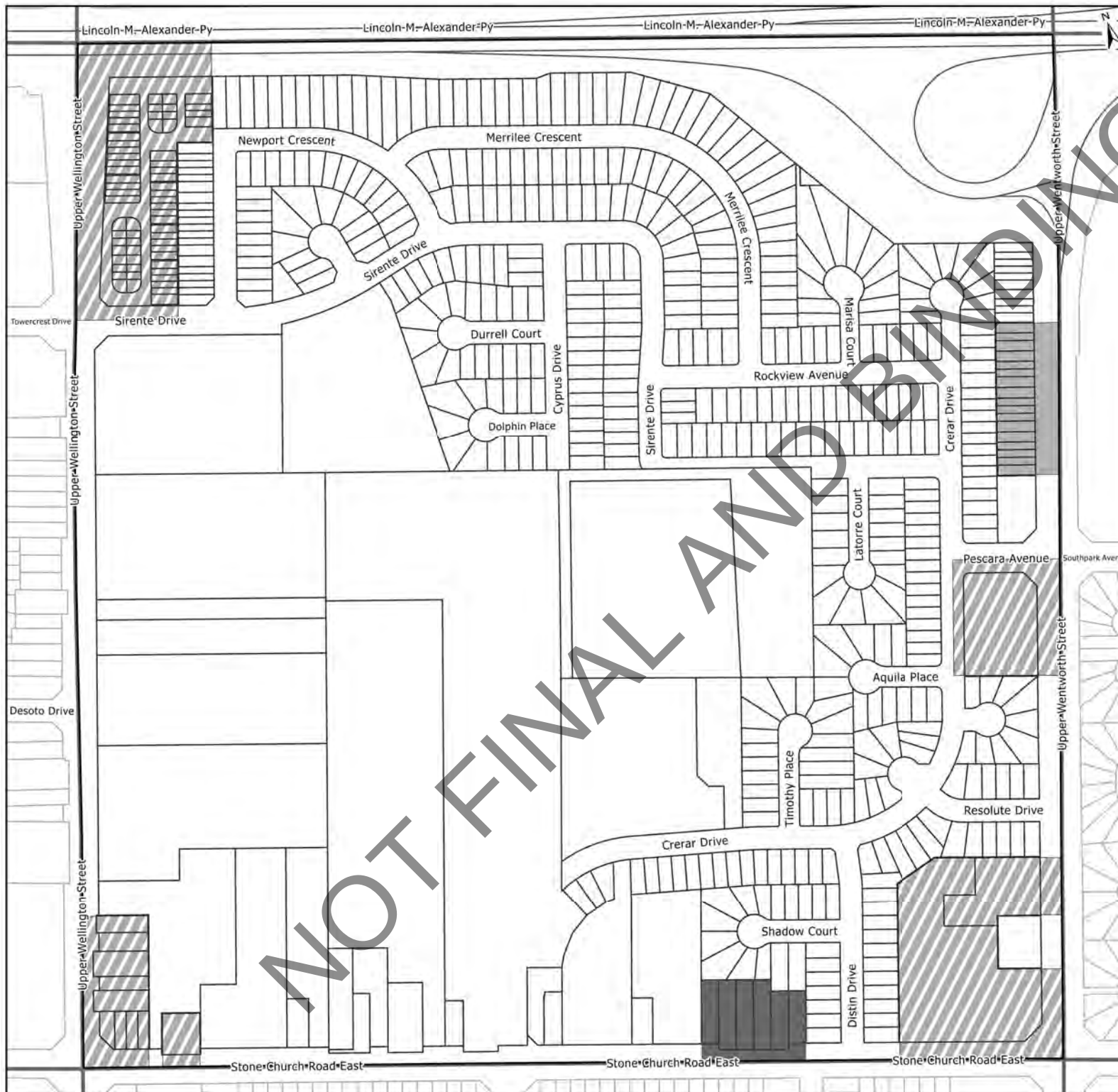
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A49 of A80

45	46	47
48	49	34
50	51	36

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

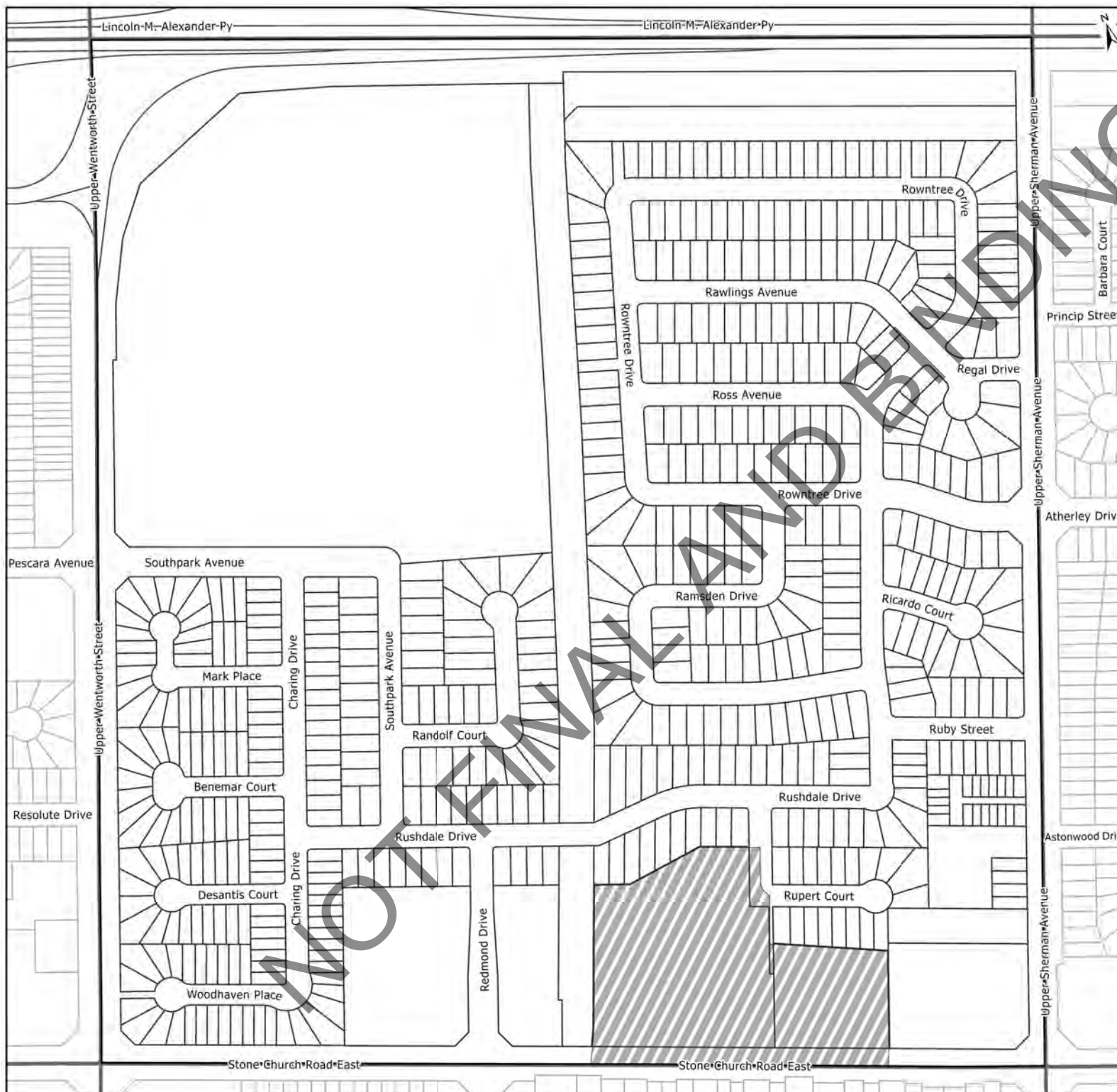
This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1292, 1344, 1345, 1346, 1396 1397

Scale: N.T.S	File Name/Number: CI-25-C
Date: October 8th, 2025	Planner/Technician: MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A50 of A80

58	48	49
60	50	51

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

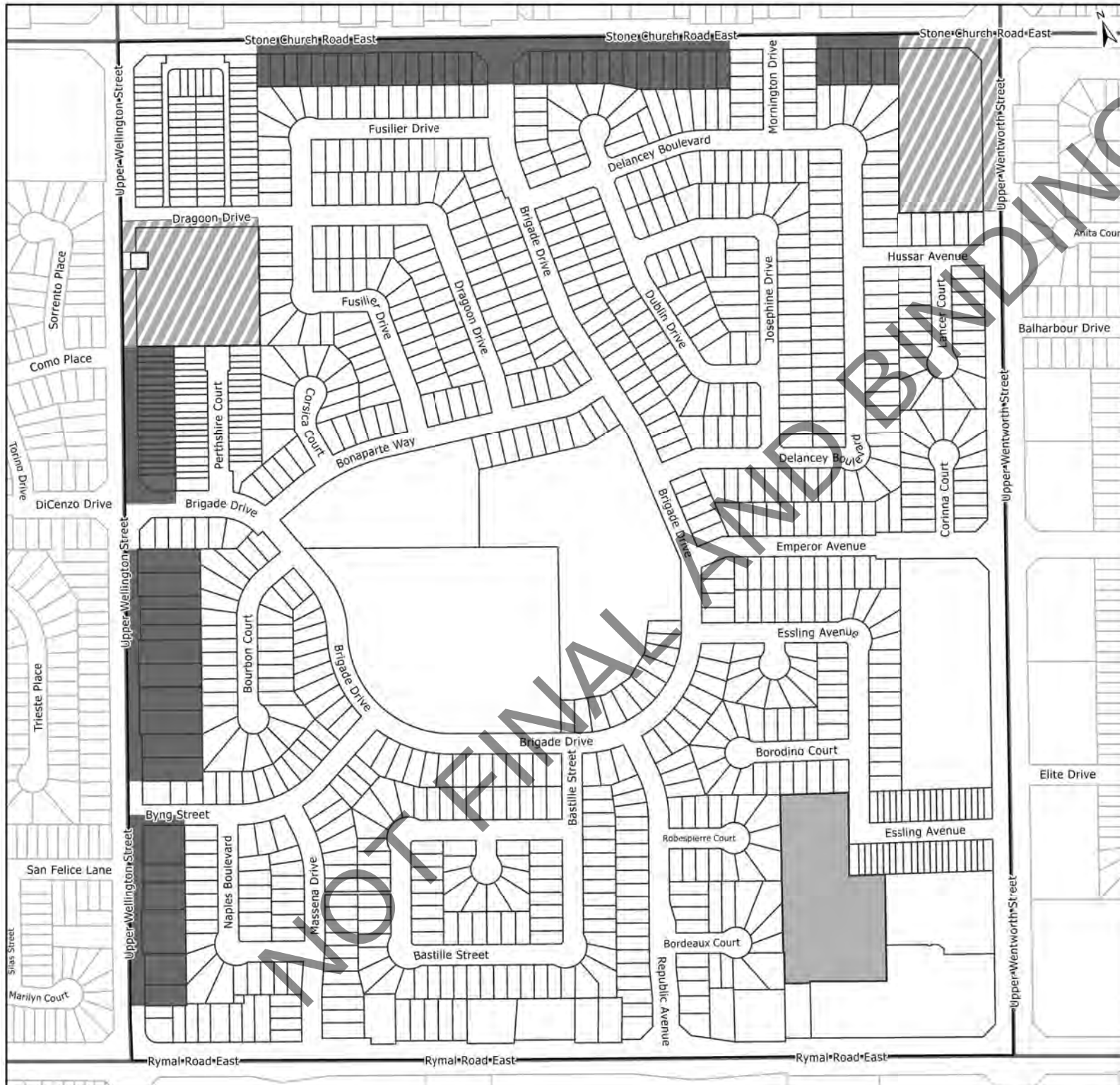
This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1343, 1344, 1395, 1396, 1446 1447

Scale: N.T.S	File Name/Number: CI-25-C
Date: October 8th, 2025	Planner/Technician: MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A51 of A80

48	49	34
50	51	36

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone
-  Mid Rise Residential - Large Scale (R4a) Holding 206

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

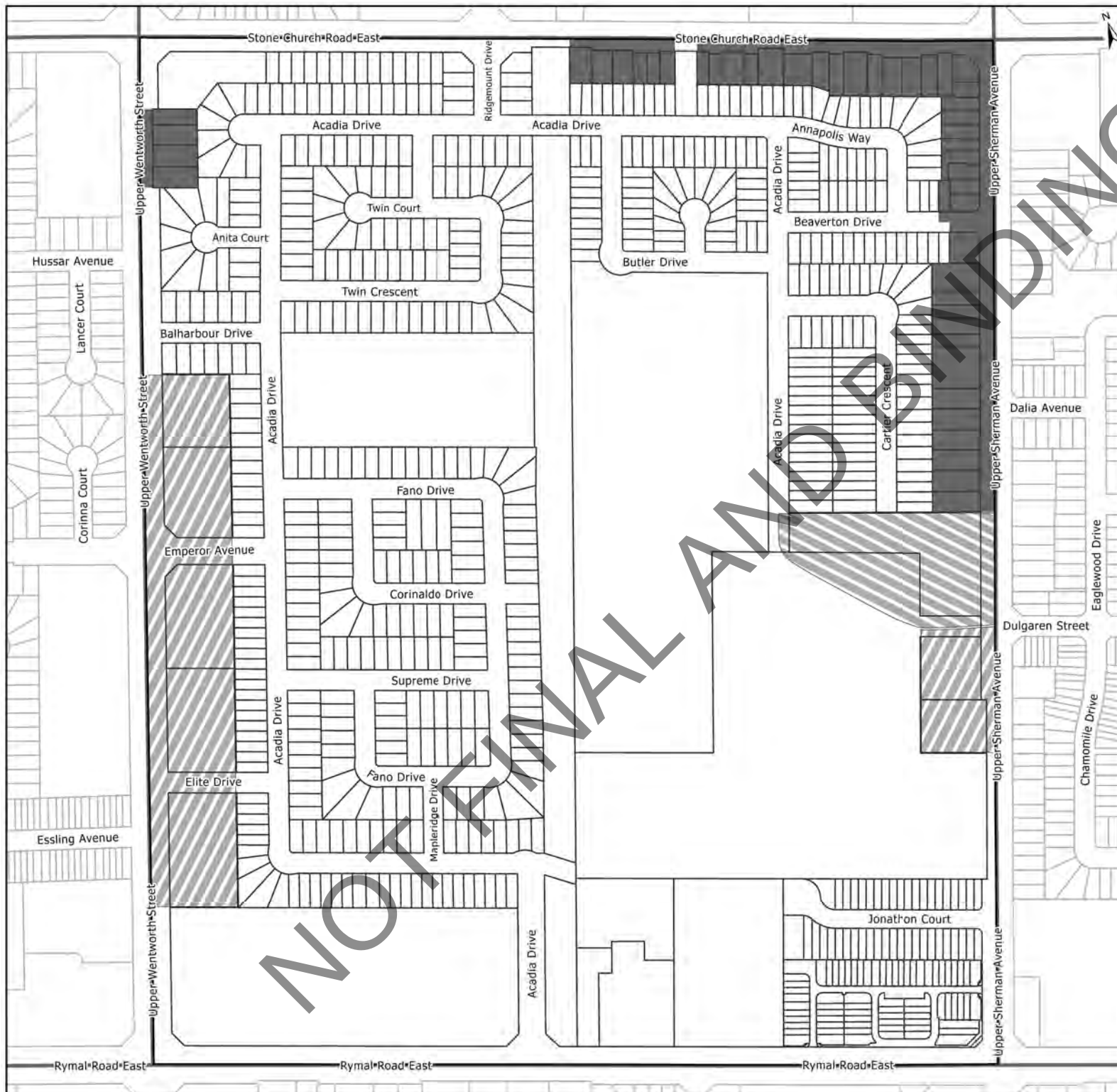
to Amend By-law No. 05-200 Maps:
1396, 1397, 1447, 1448

Scale: N.T.S	File Name/Number: CI-25-C
Date: October 8th, 2025	Planner/Technician: MS/EY

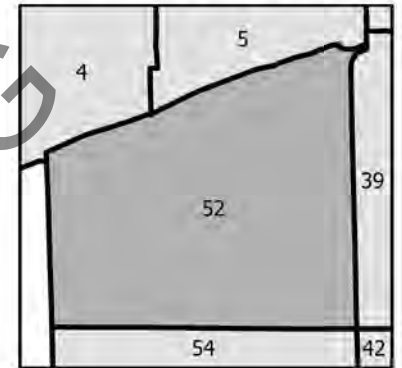
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A52 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1037, 1038, 1039, 1083, 1084, 1085, 1133

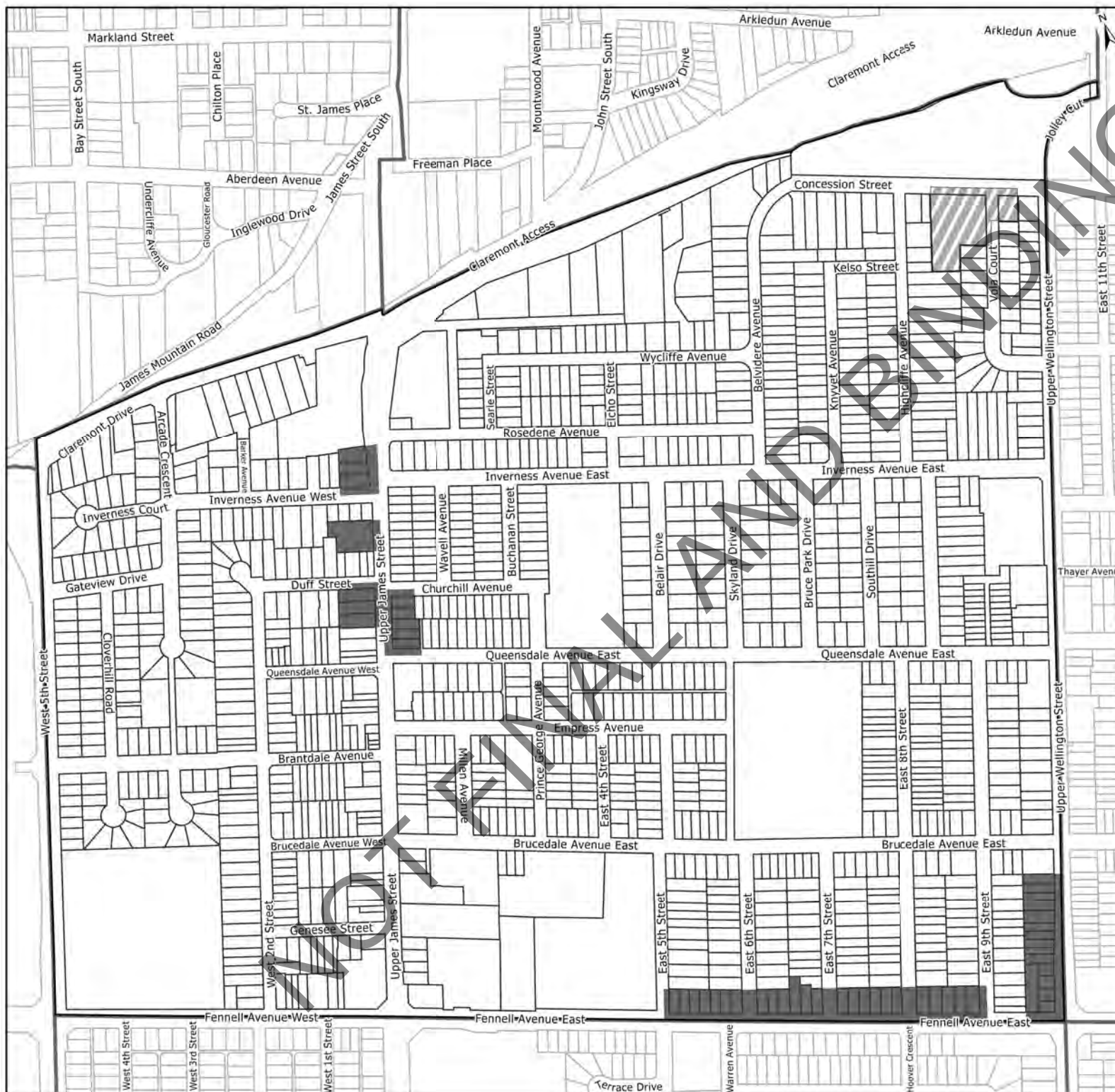
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File Name/Number:
CI-25-C

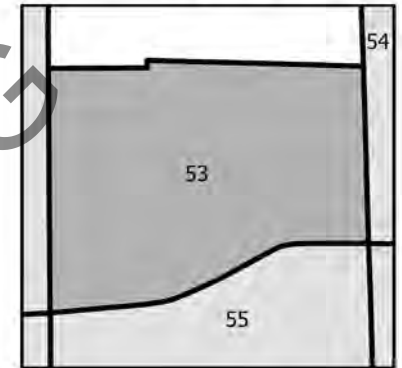
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A53 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1082, 1083, 1130, 1131, 1132

Scale:
N.T.S

File Name/Number:
CI-25-C

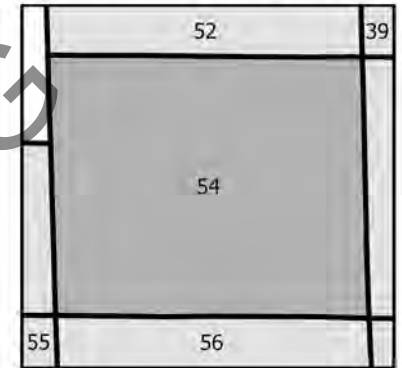
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A54 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1083, 1084, 1132, 1133, 1183, 1184

Scale:
N.T.S

File Name/Number:
CI-25-C

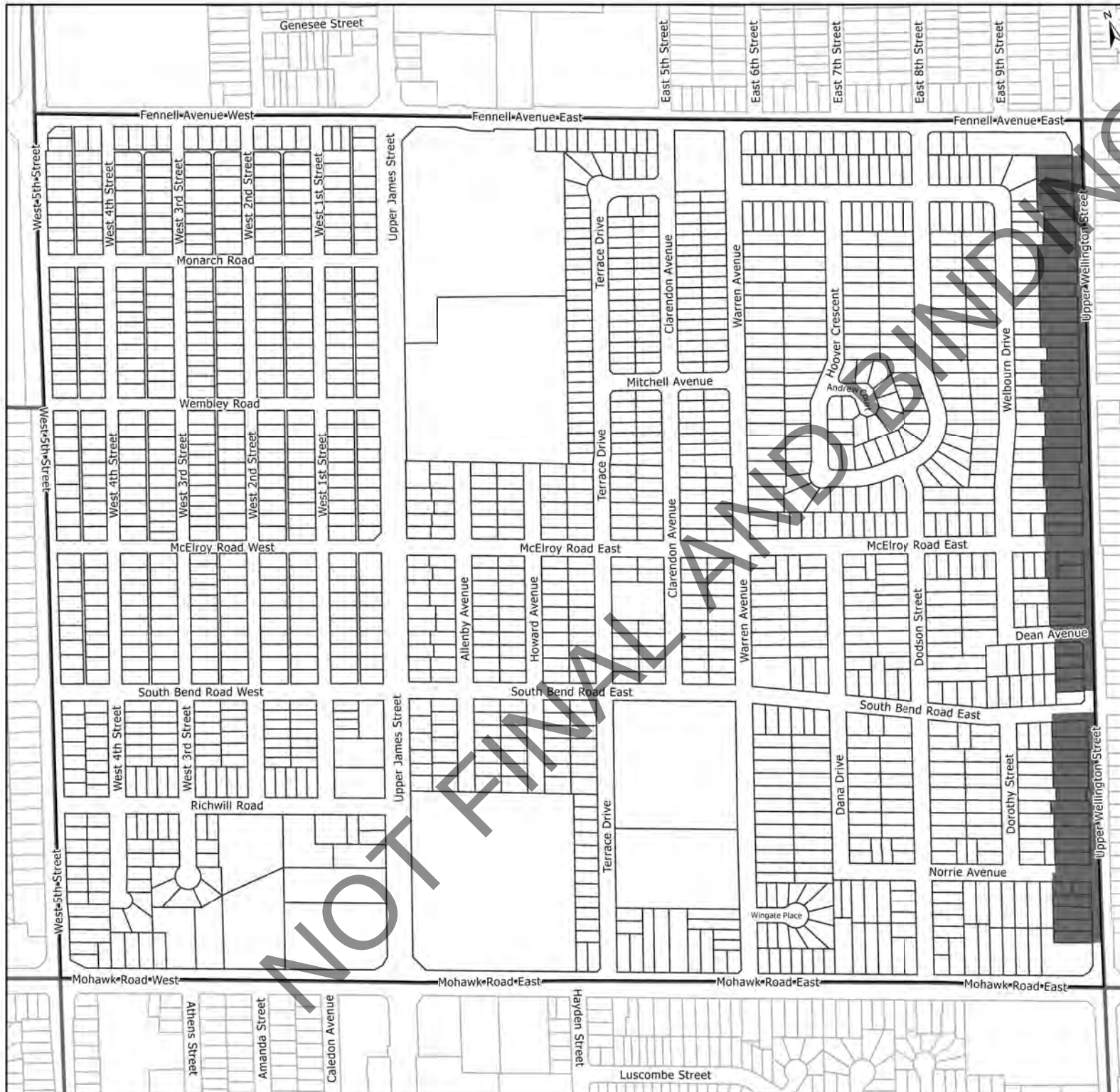
Date:
October 8th, 2025

Planner/Technician:
MS/EY

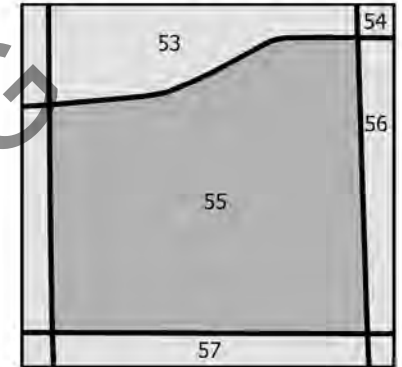
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A55 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1130, 1131, 1132, 1181, 1182, 1183, 1235,
1236, 1237

Scale:
N.T.S

File Name/Number:
CI-25-C

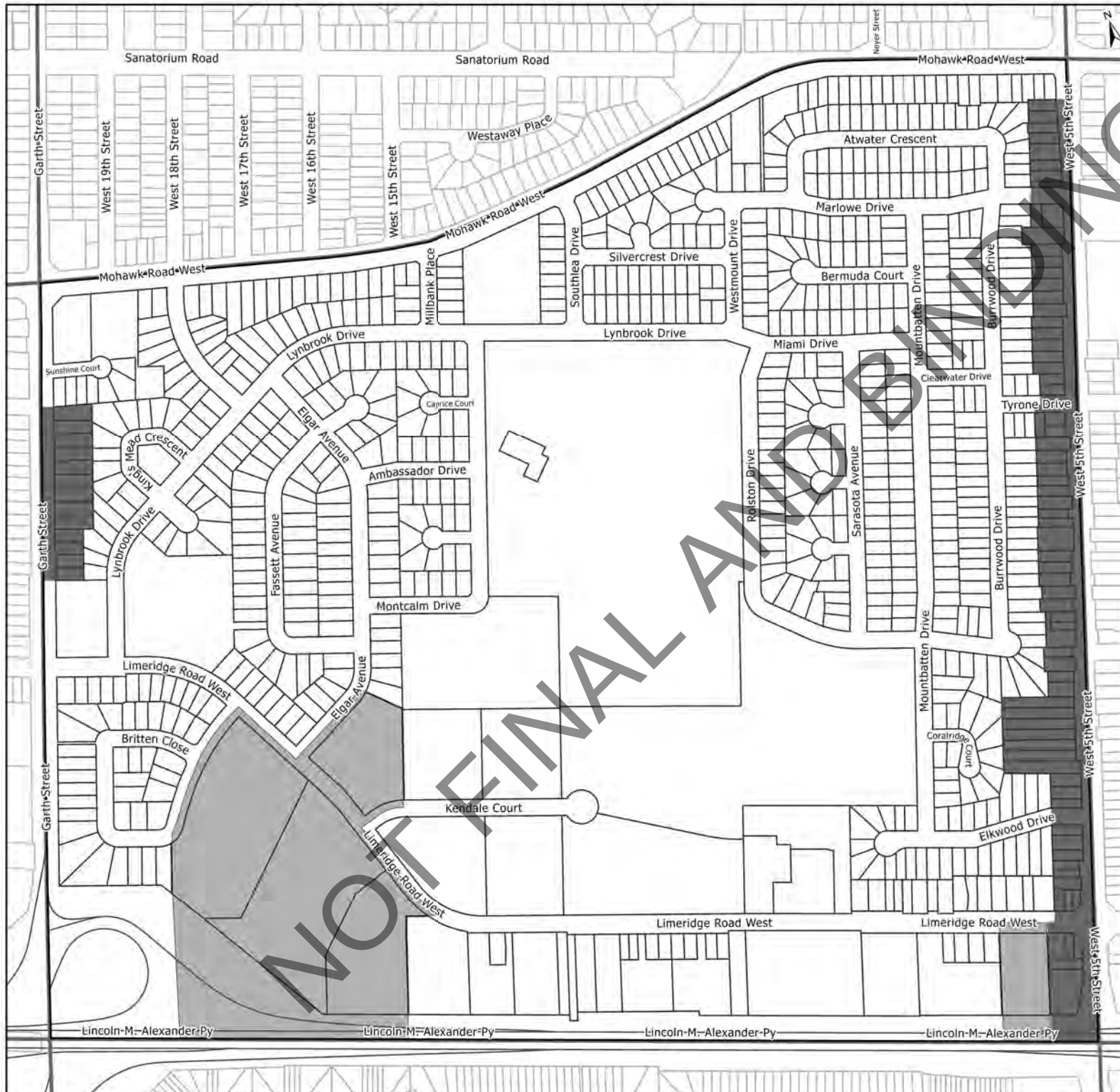
Date:
October 8th, 2025

Planner/Technician:
MS/EY

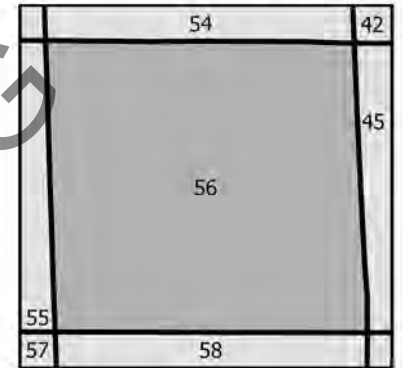
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A56 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1132, 1183, 1184, 1236, 1237, 1238, 1290,
1291

Scale:
N.T.S

File Name/Number:
CI-25-C

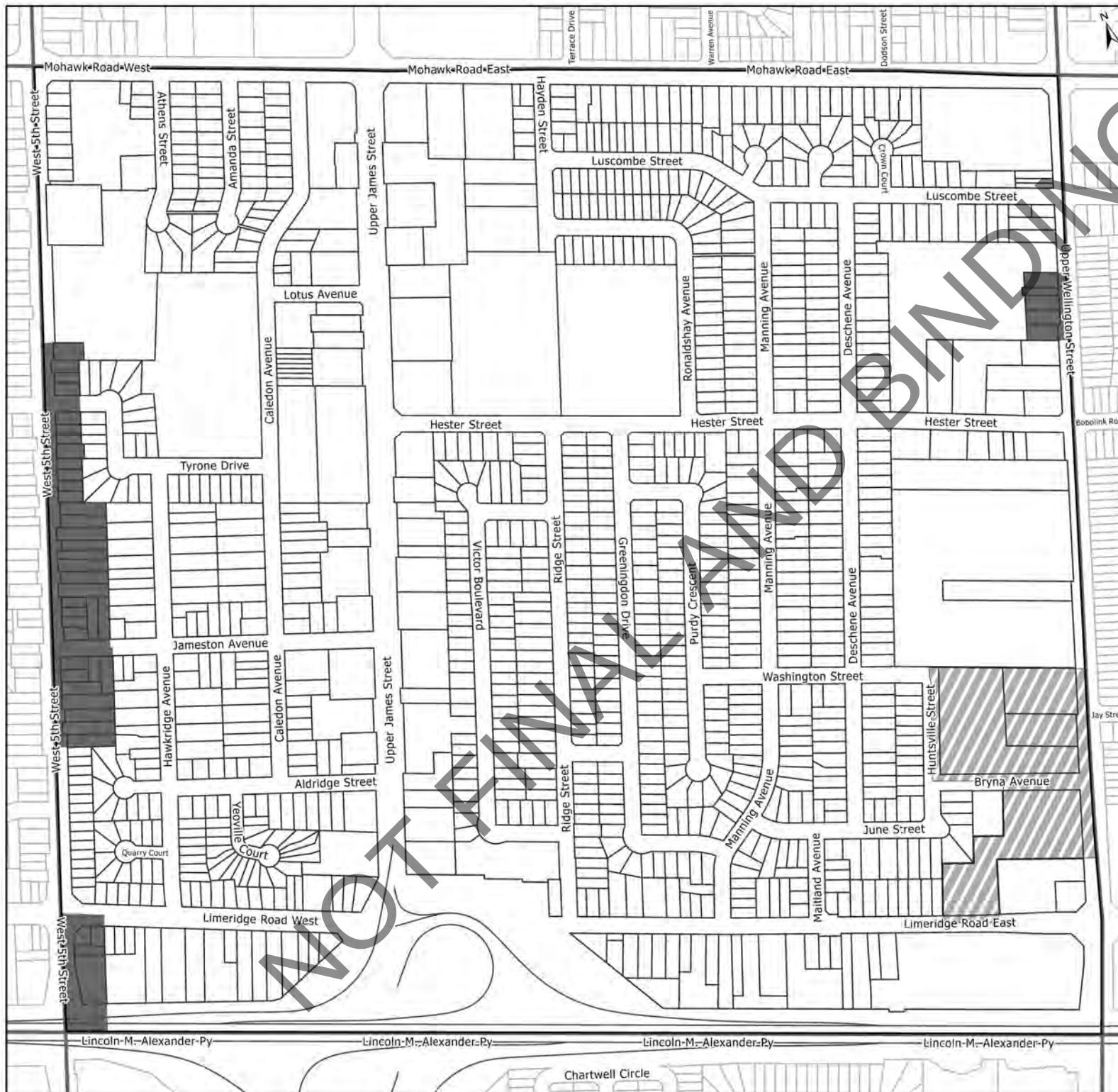
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A57 of A80

55	56
57	58
80	59

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-

Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1235, 1236, 1288, 1289, 1342

Scale:
N.T.S

File Name/Number:
CI-25-C

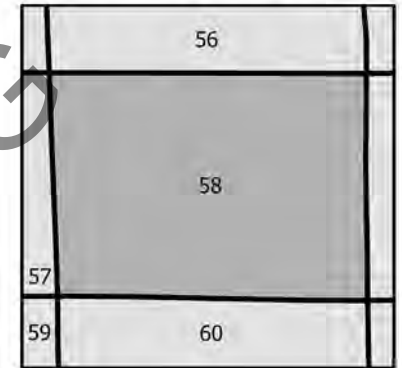
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A58 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1236, 1237, 1289, 1290, 1291, 1342, 1343,
1344

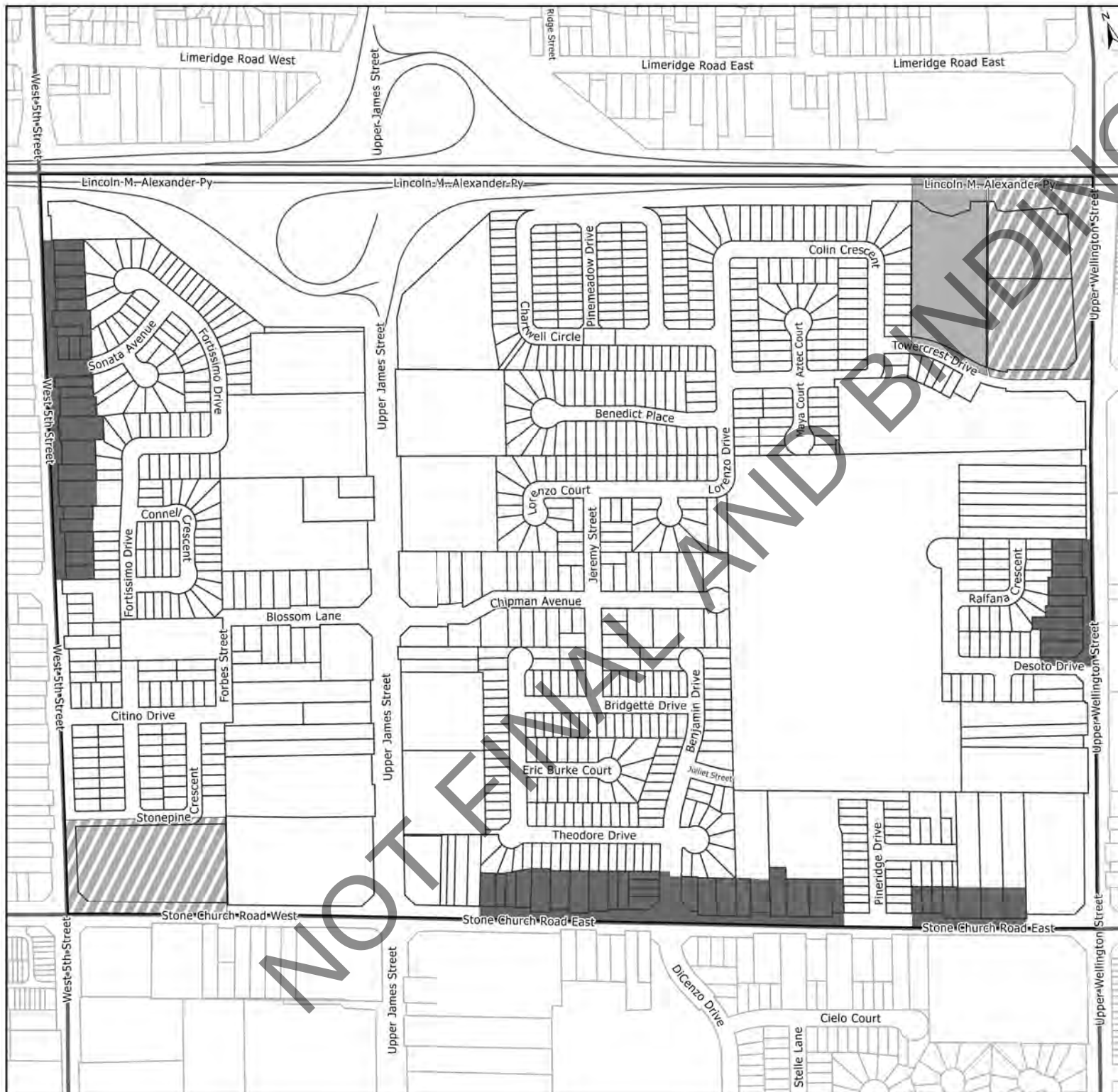
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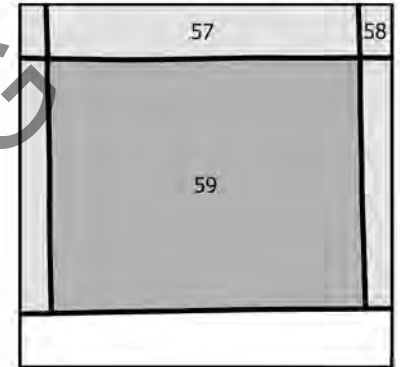
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A59 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1288, 1289, 1341, 1342, 1393 1394

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

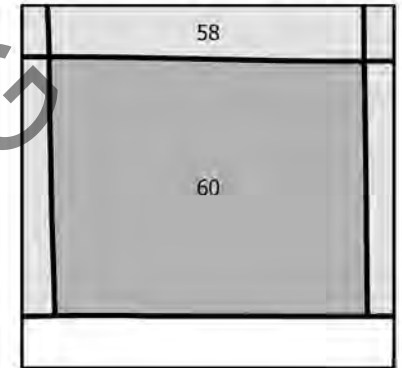
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A60 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1342, 1343, 1394, 1395, 1446

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



 Mid Rise Residential - Small Scale (R3) Zone
 Mid Rise Residential - (R4) Zone
 Mid Rise Residential - Large Scale (R4a) Zone

Clerk

Map forming Part of
By-law No. 25-_____

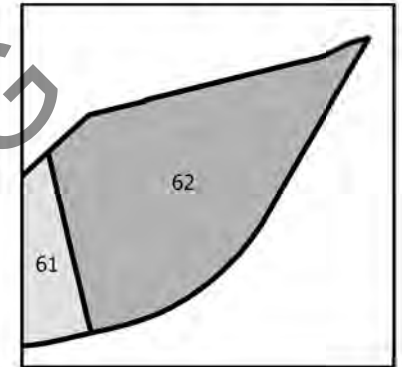
Scale:
N.T.S

Date:
October 8th, 2025

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A62 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1176, 1228, 1229, 1230, 1281, 1282, 1283,
1334, 1335, 1336, 1386, 1387

Scale:
N.T.S

File Name/Number:
CI-25-C

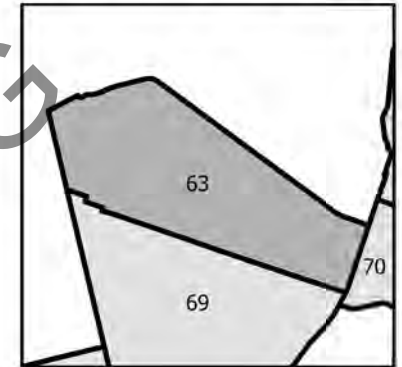
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A63 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
817, 859, 860, 902

Scale:
N.T.S

File Name/Number:
CI-25-C

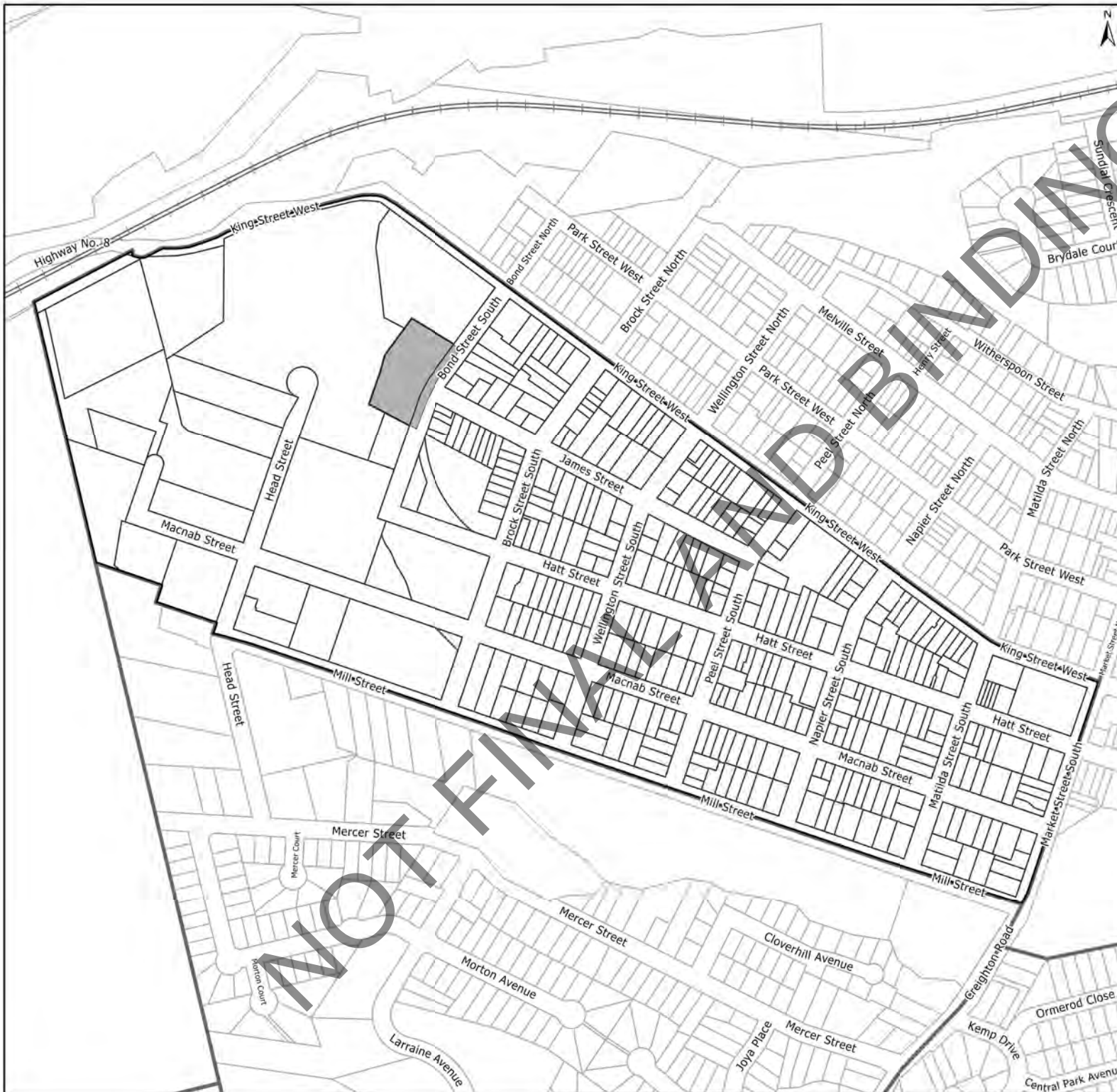
Date:
October 8th, 2025

Planner/Technician:
MS/EY

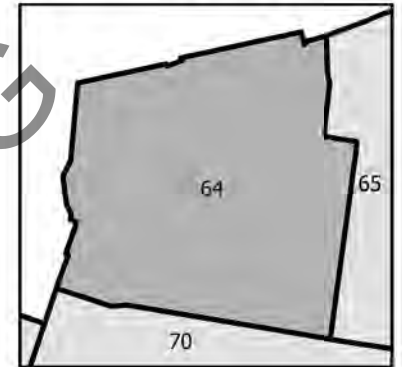
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A64 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
818, 819, 860, 861

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

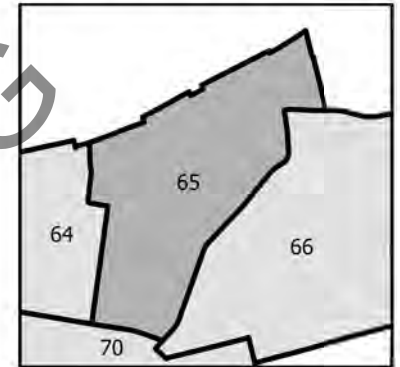
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A65 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
779, 780, 819, 820, 861

Scale:
N.T.S

File Name/Number:
CI-25-C

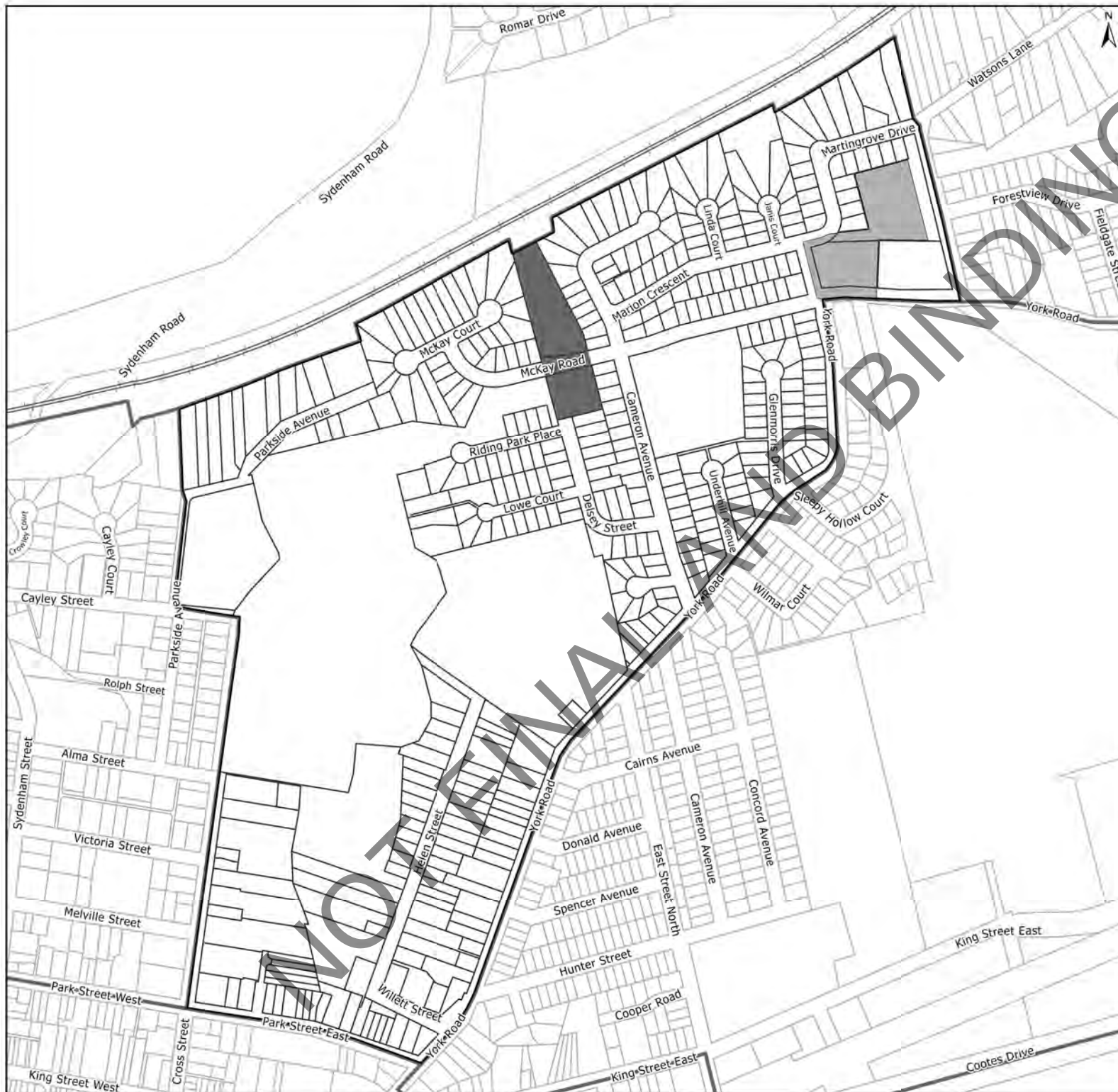
Date:
October 8th, 2025

Planner/Technician:
MS/EY

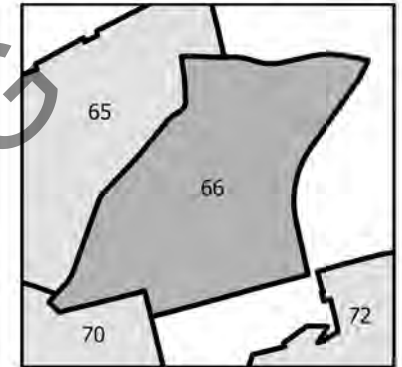
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A66 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
819, 820, 821, 861, 862

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

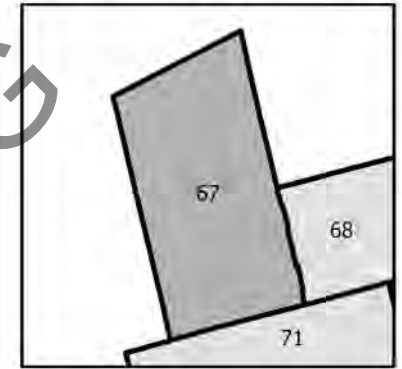
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A67 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

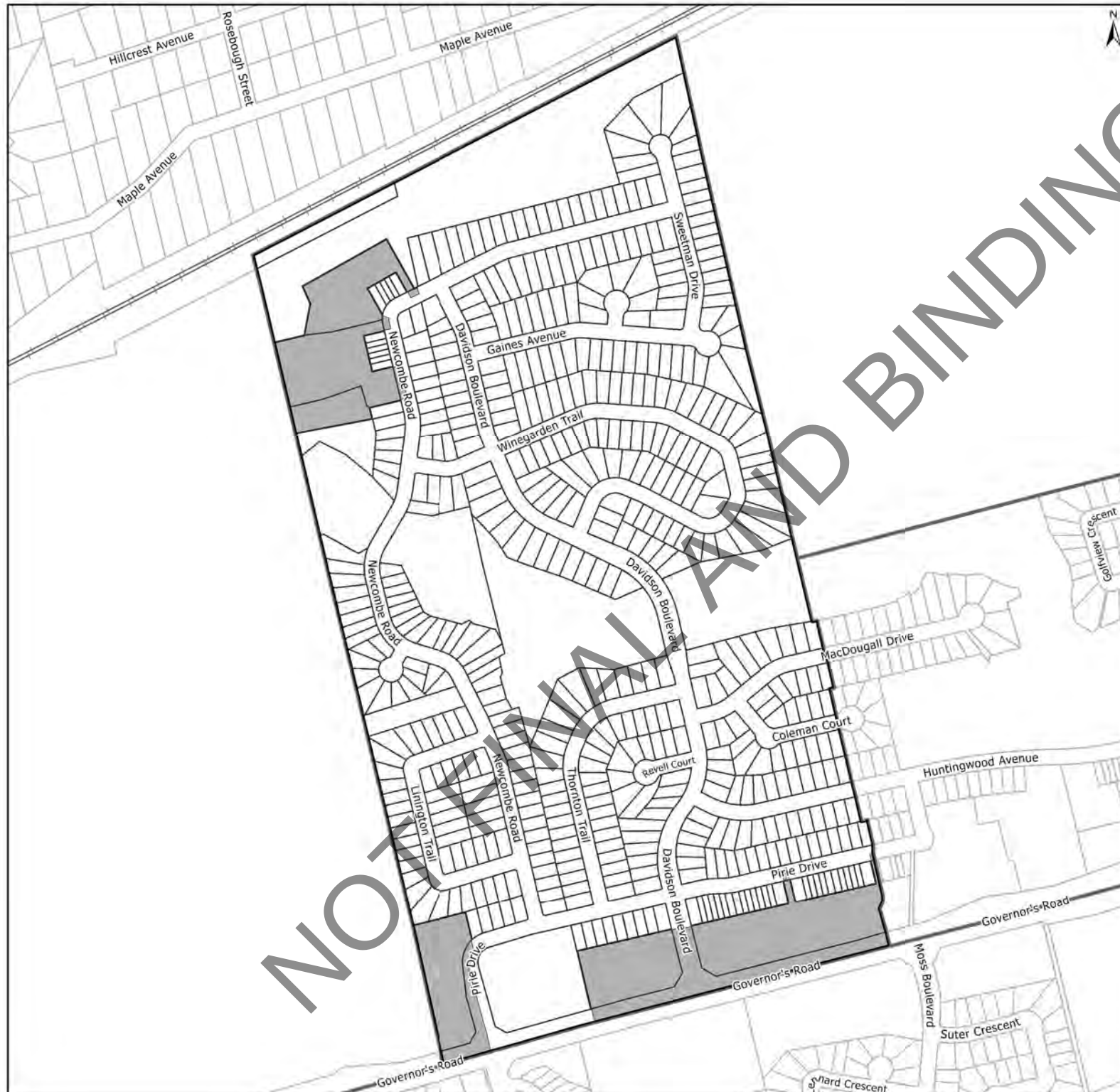
This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

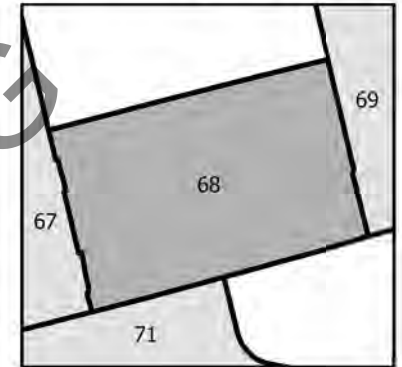
to Amend By-law No. 05-200 Maps:
857, 858, 899, 900, 941, 942

Scale: N.T.S	File Name/Number: CI-25-C
Date: October 8th, 2025	Planner/Technician: MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A68 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
900, 901, 942, 943

Scale:
N.T.S

File Name/Number:
CI-25-C

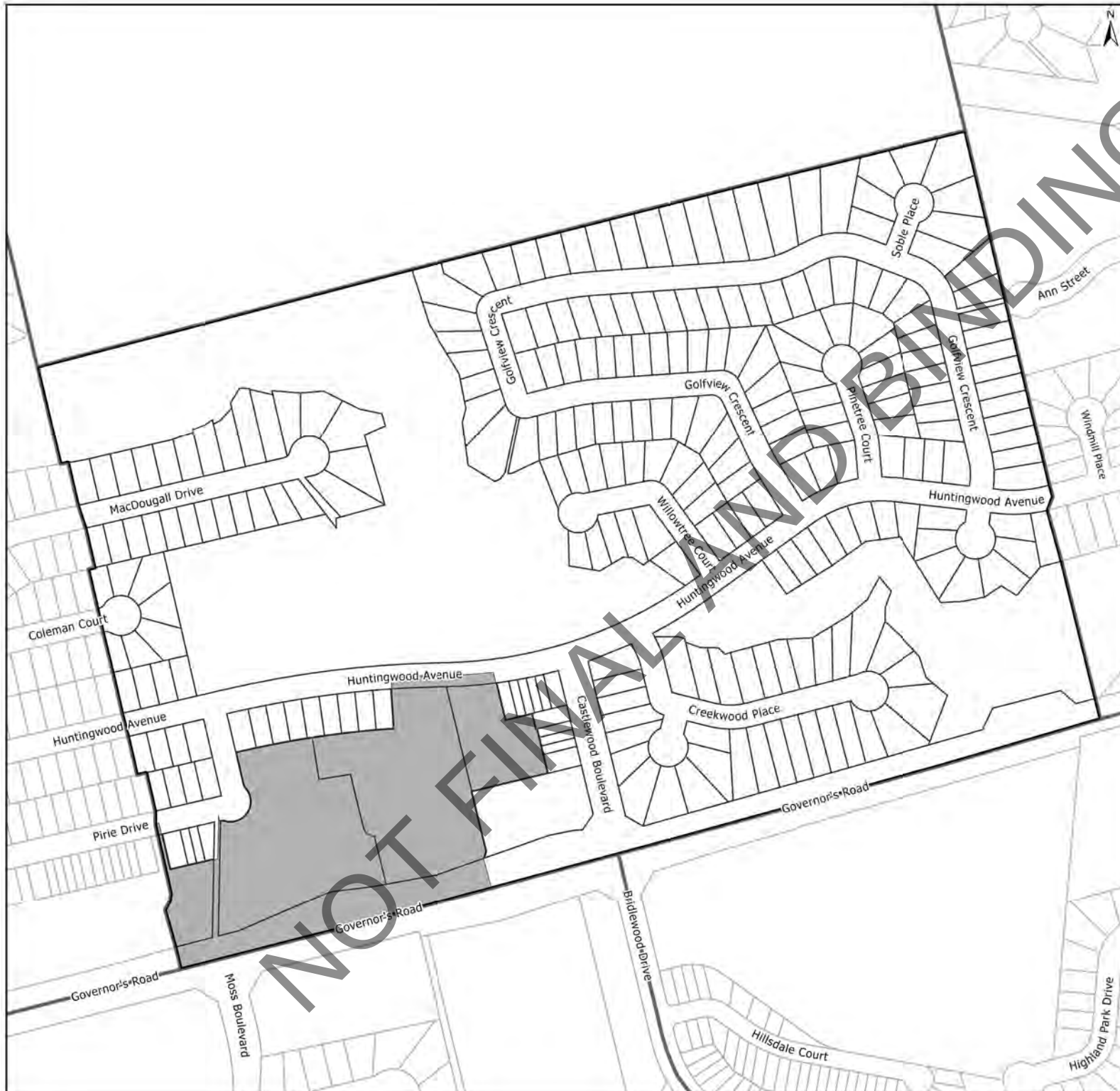
Date:
October 8th, 2025

Planner/Technician:
MS/EY

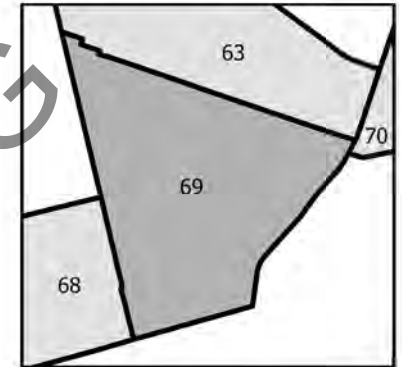
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A69 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
859, 860, 901, 902, 943

Scale:
N.T.S

File Name/Number:
CI-25-C

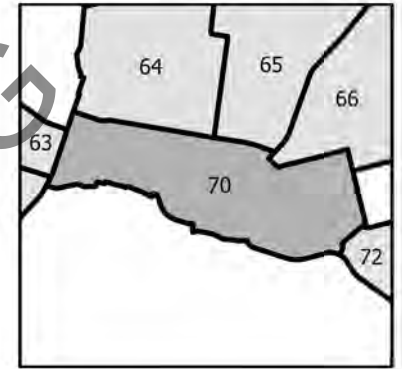
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Schedule A70 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
860, 861, 902, 903, 904

Scale:
N.T.S

File Name/Number:
CI-25-C

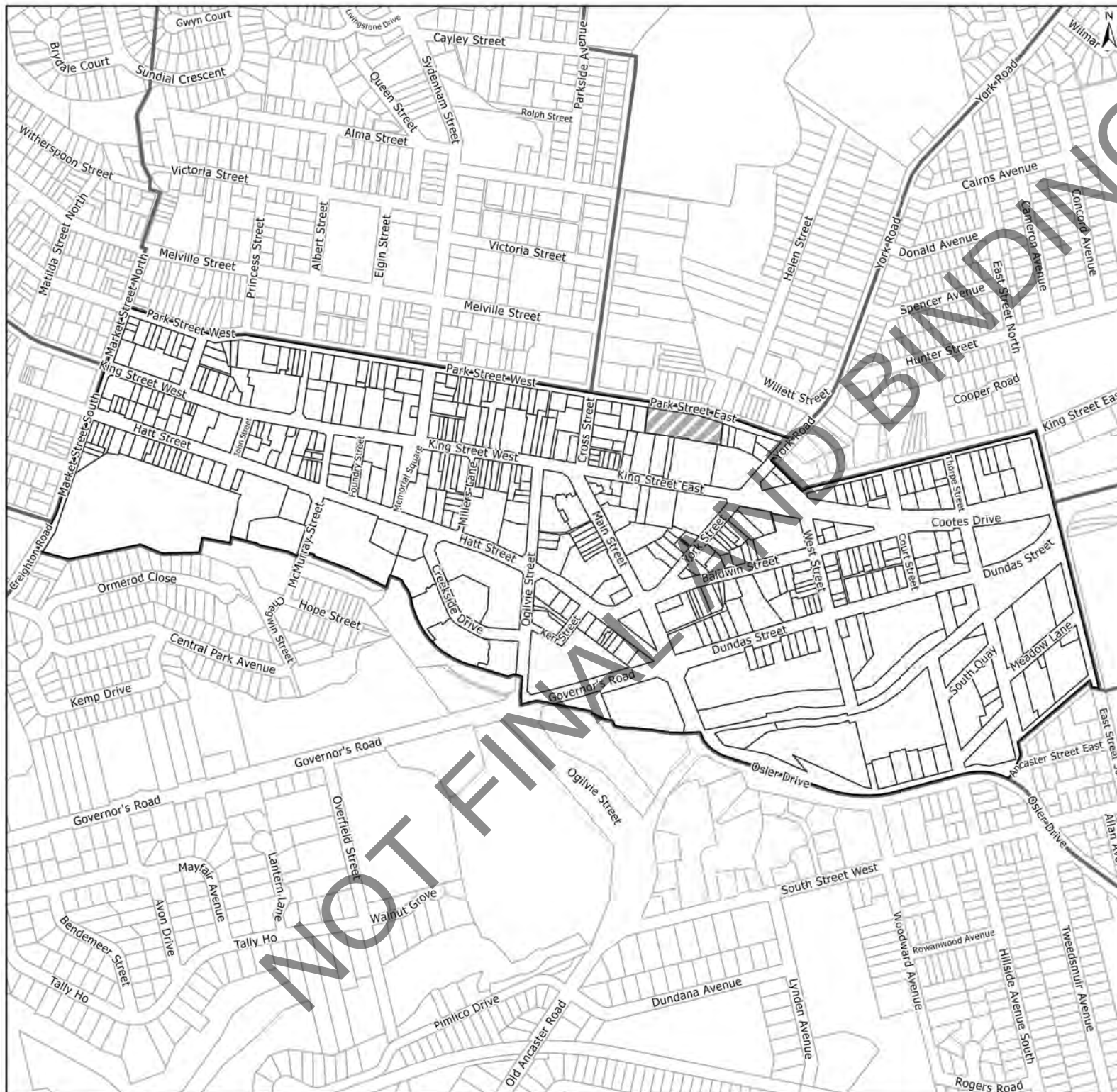
Date:
October 8th, 2025

Planner/Technician:
MS/EY

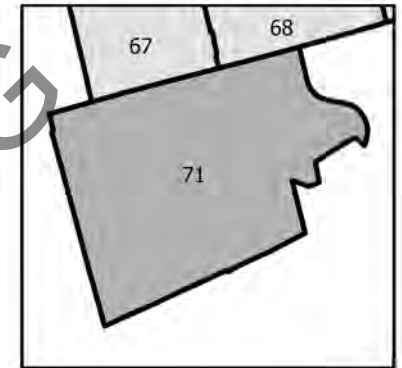
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A71 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-_____
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
941, 942, 943, 983, 984, 985, 1027, 1028

Scale: N.T.S.	File Name/Number: CI-25-C
Date: October 8th, 2025	Planner/Technician: MS/EY

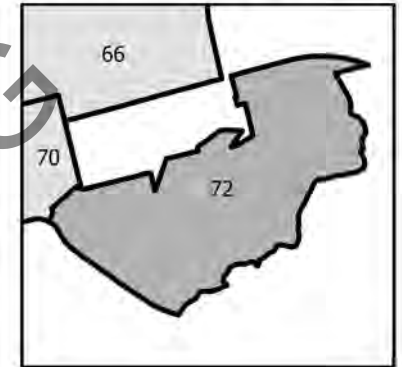
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton

NOT FINAL AND BINDING

Schedule A72 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
862, 863, 903, 904, 905, 946

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

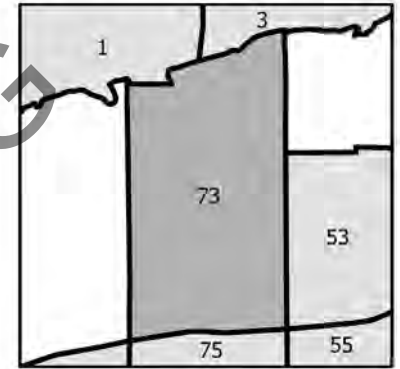
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A73 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1035, 1036, 1081, 1082, 1130 1131

Scale:

N.T.S

File Name/Number:

CI-25-C

Date:

October 8th, 2025

Planner/Technician:

MS/EY

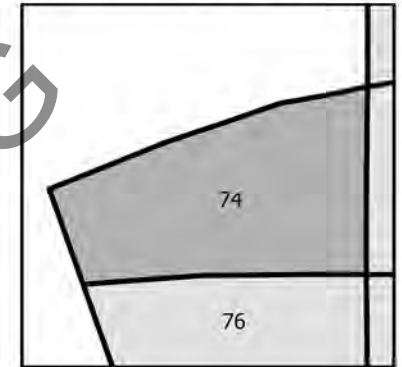
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A74 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1128, 1129, 1130, 1179, 1180

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

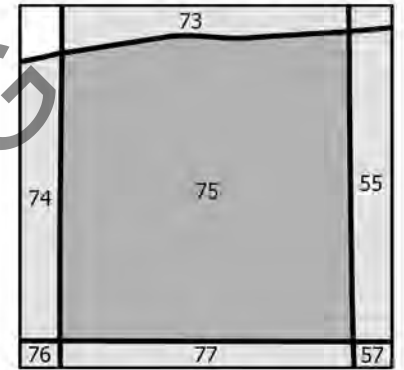
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A75 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

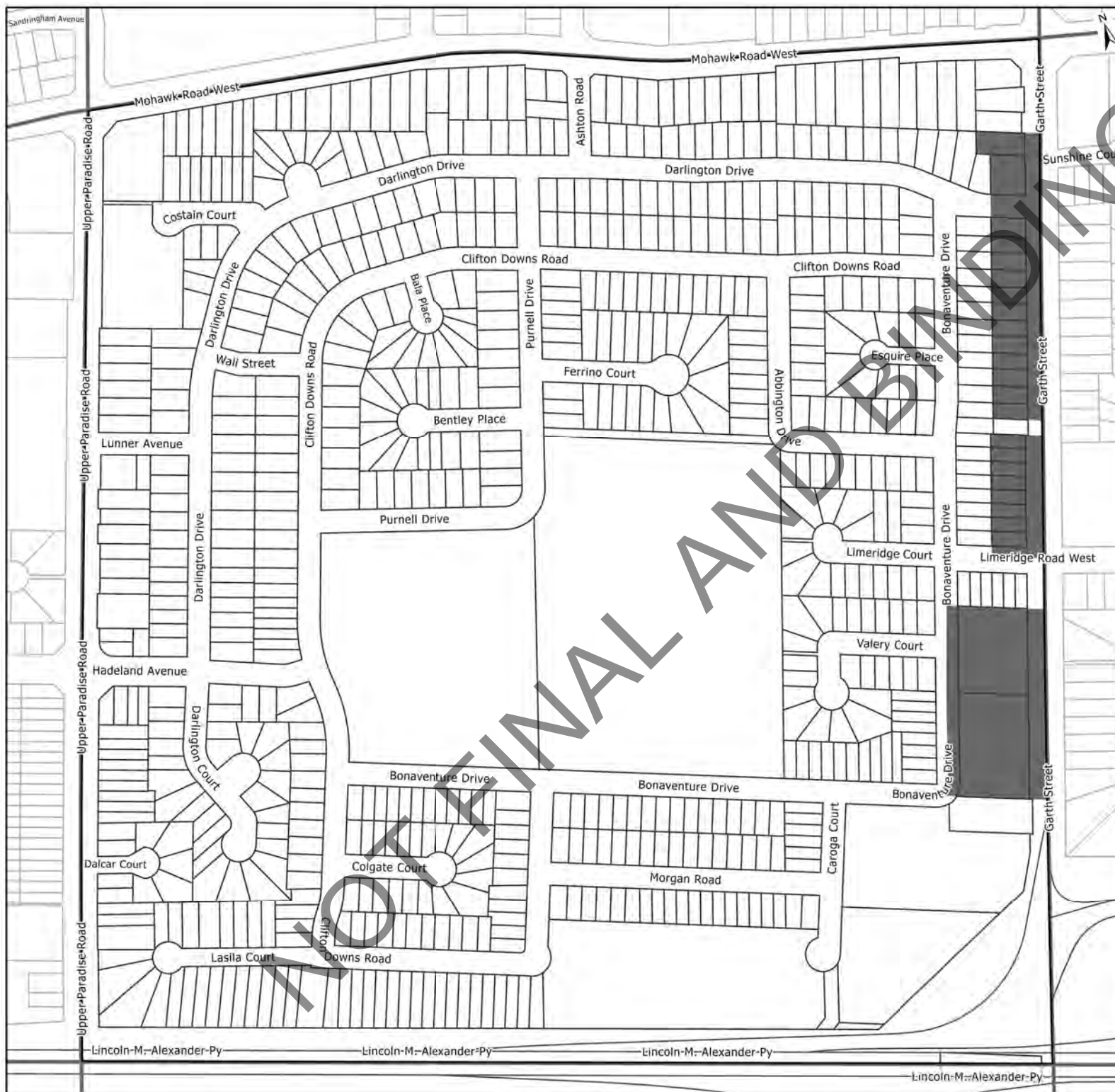
to Amend By-law No. 05-200 Maps:
1129, 1130, 1180, 1181, 1235

Scale: N.T.S	File Name/Number: CI-25-C
Date: October 8th, 2025	Planner/Technician: MS/EY

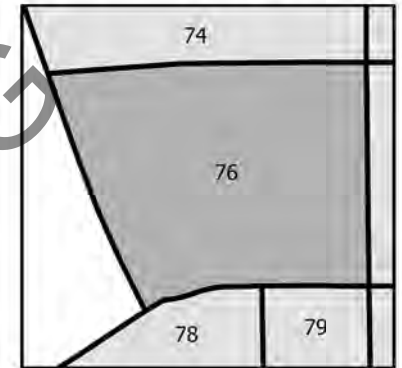
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A76 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1179, 1180, 1233, 1234

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A77 of A80

74	75	55
76	77	57
79	80	59

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1180, 1181, 1234, 1235, 1287, 1288

Scale:
N.T.S

File Name/Number:
CI-25-C

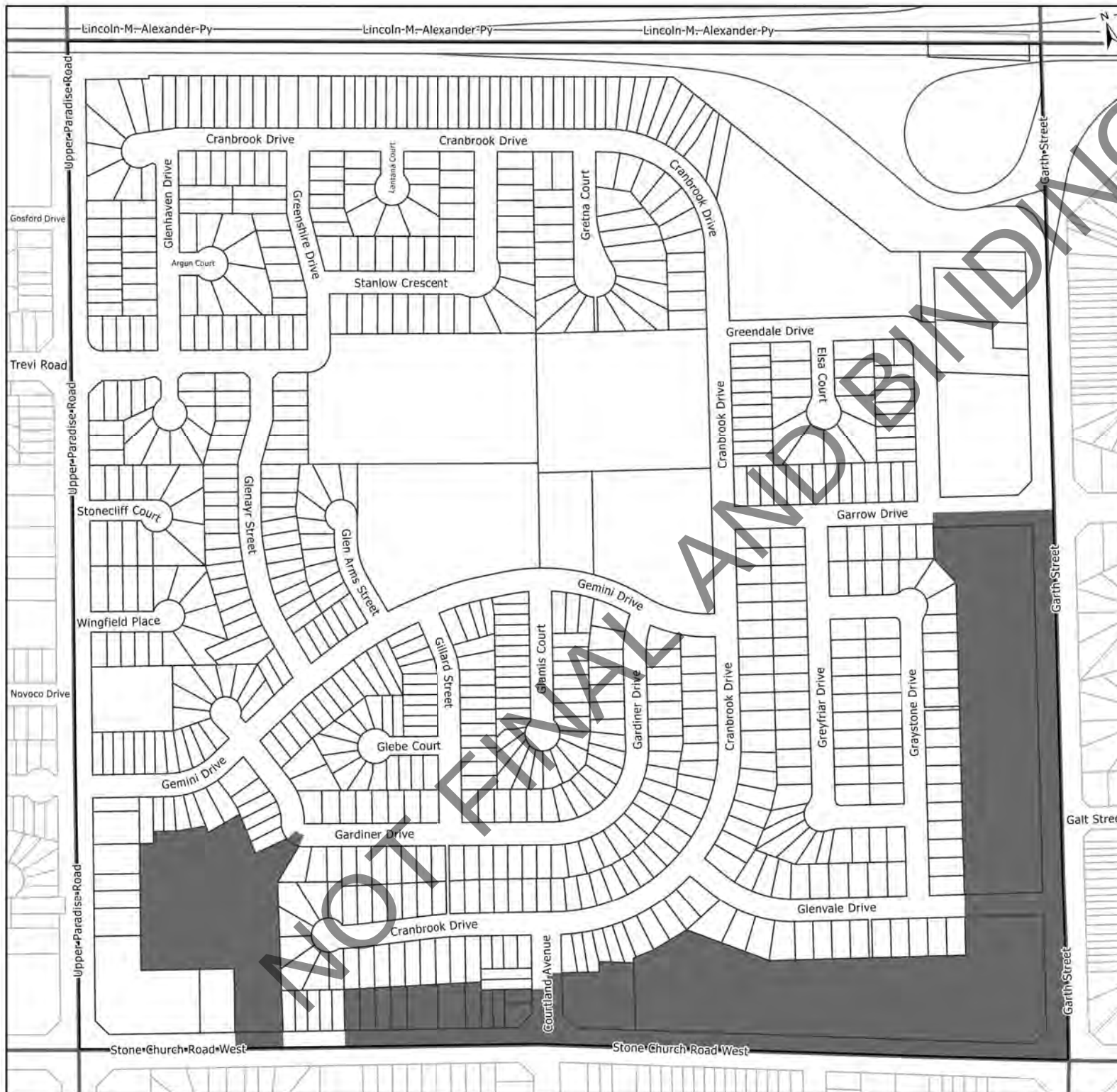
Date:
October 8th, 2025

Planner/Technician:
MS/EY

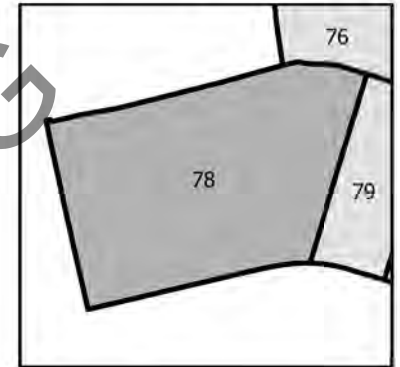
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A78 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone
-  Mid Rise Residential - Large Scale (R4a, 945, H207) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-_____

to Amend By-law No. 05-200 Maps:
1232, 1233, 1285, 1286, 1338 1339

Scale:
N.T.S

File Name/Number:
CI-25-C

Date:
October 8th, 2025

Planner/Technician:
MS/EY

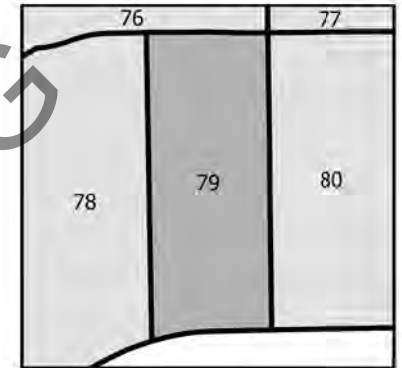
PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A79 of A80



Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1233, 1234, 1286, 1287, 1339 1340

Scale:
N.T.S

File Name/Number:
CI-25-C

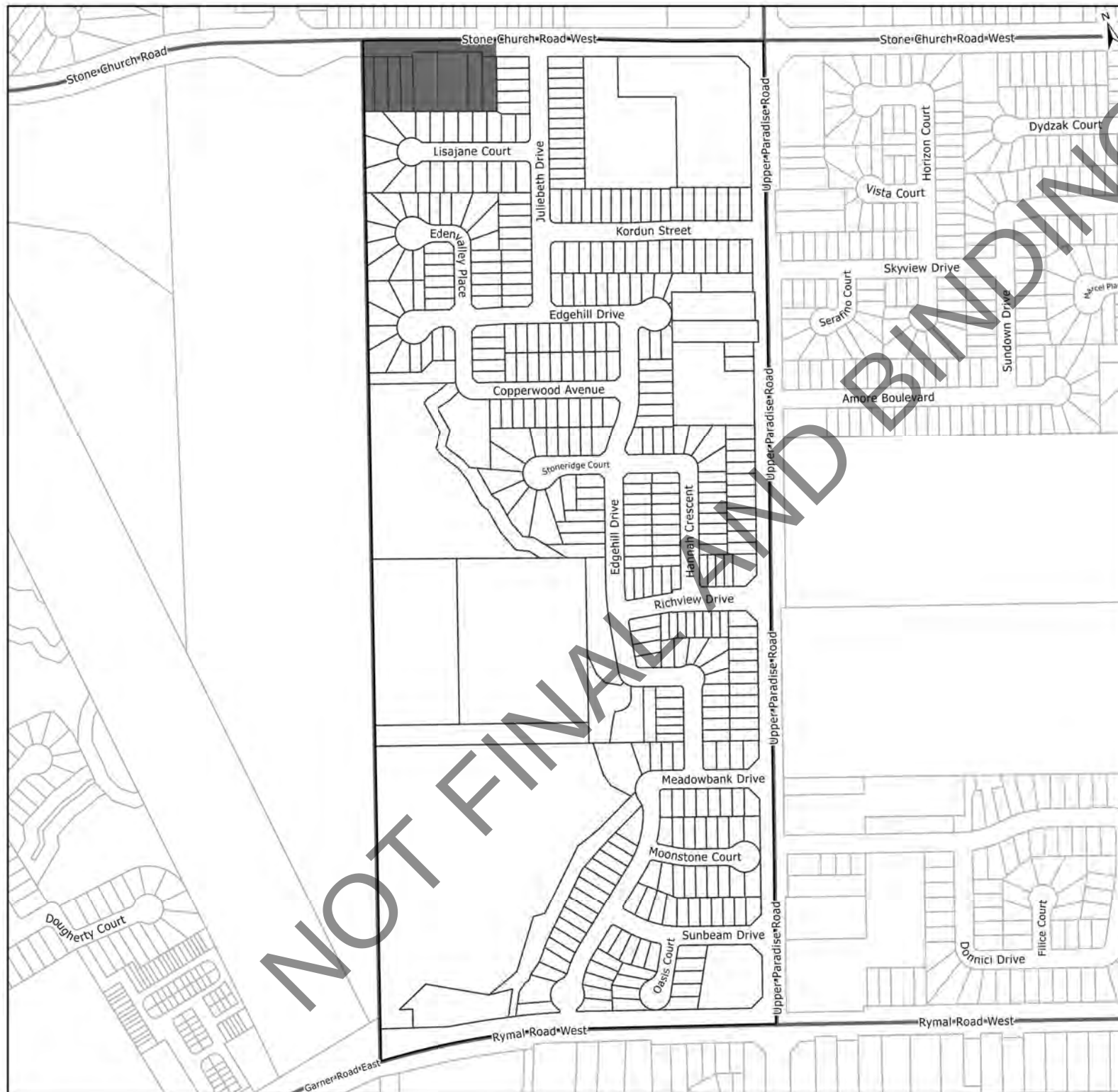
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Schedule A80 of A80

76	77	57
79	80	59

Lands to be added to Zoning By-law No. 05-200 as:

-  Mid Rise Residential - Small Scale (R3) Zone
-  Mid Rise Residential - (R4) Zone
-  Mid Rise Residential - Large Scale (R4a) Zone

Mayor

Clerk

This is Schedule "A" to By-law No. 25-
Passed the day of, 2025

Map forming Part of
By-law No. 25-____

to Amend By-law No. 05-200 Maps:
1234, 1287, 1288, 1340, 1341

Scale:
N.T.S

File Name/Number:
CI-25-C

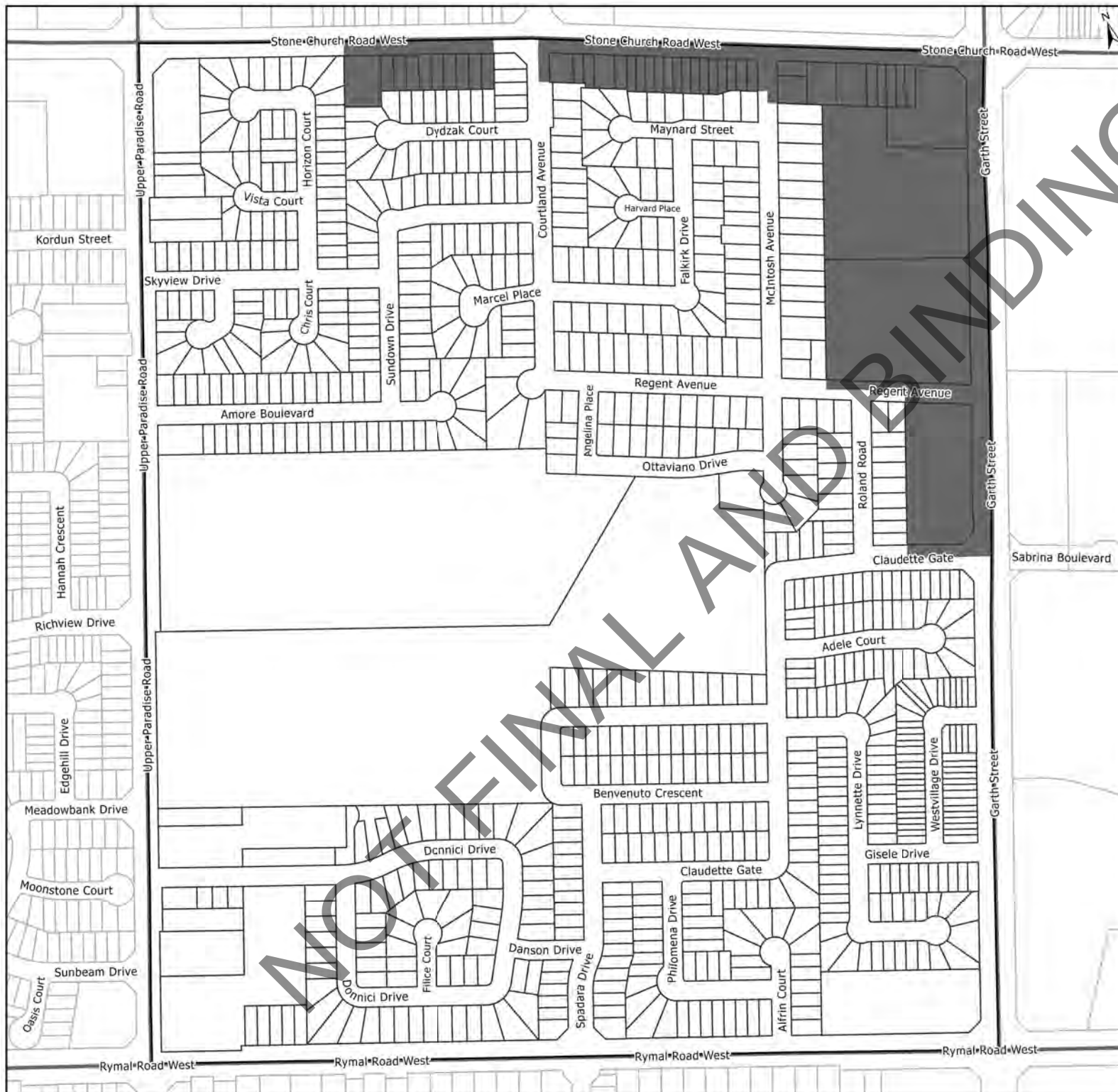
Date:
October 8th, 2025

Planner/Technician:
MS/EY

PLANNING AND ECONOMIC DEVELOPMENT
DEPARTMENT



Hamilton



Summary of Proposed Changes to Zoning By-law No. 05-200

Section 1 – Administration		
Section	Proposed Change	Proposed Revised Zone Regulation
Grey highlighted strikethrough text = text to be deleted bolded text = text to be added		
Transition Provisions Section 1.12.1	Nothing in this By-law prevents the development or use of a lot or a building for which a complete application for a building permit was received by the City, if the development or use complies, or the building permit application is amended to comply, with the provisions of the applicable former zoning by-law as it read immediately prior to the passing of the following By-laws: 1. Commercial and Mixed Use Zoning By-law No. 17-240, November 8, 2017 2. Downtown Zoning By-law No. 18-114, May 9, 2018 3. Residential Zones a. Low Density Residential By-law No. 22-197, August 12, 2022 b. Low Density Residential By-law Nos. 24-051 and 24-052 April 10, 2024 c. Low Density Residential By-law No. 25-075 d. Mid Rise Residential Zones By-law No. 25-XXX	Nothing in this By-law prevents the development or use of a lot or a building for which a complete application for a building permit was received by the City, if the development or use complies, or the building permit application is amended to comply, with the provisions of the applicable former zoning by-law as it read immediately prior to the passing of the following By-laws: 1. Commercial and Mixed Use Zoning By-law No. 17-240, November 8, 2017 2. Downtown Zoning By-law No. 18-114, May 9, 2018 3. Residential Zones a. Low Density Residential By-law No. 22-197, August 12, 2022 b. Low Density Residential By-law Nos. 24-051 and 24-052 April 10, 2024 c. Low Density Residential By-law No. 25-075 d. Mid Rise Residential Zones By-law No. 25-XXX

Section 2 – Interpretation		
Section	Proposed Change	Proposed Revised Zone Regulation
Grey highlighted strikethrough text = text to be deleted bolded text = text to be added		
Establishment of Classification and Zones	Residential Zones	Residential Zones
Section 2.1 j)	Low Density Residential R1	Low Density Residential R1
	Low Density Residential – Small Lot R1a	Low Density Residential – Small Lot R1a
	Low Density Residential – Large Lot R2	Low Density Residential – Large Lot R2
	Mid Rise Residential – Small Scale R3	Mid Rise Residential – Small Scale R3
	Mid Rise Residential R4	Mid Rise Residential R4
	Mid Rise Residential – Large Scale R4a	Mid Rise Residential – Large Scale R4a

Section 3 - Definitions		
Definition	Proposed Change	Proposed Revised Zone Regulation
Grey highlighted strikethrough text = text to be deleted bolded text = text to be added		
Soft Landscaping	Soft Landscaping Shall mean landscaping consisting of trees, plants and other vegetation, and may include features intended to increase stormwater infiltration into the ground such as bioswales, rain gardens, and tree pits, but shall not consist of hard-surfaced material such as concrete, decorative stonework, or retaining walls. Artificial grass shall not be considered soft landscaping.	Soft Landscaping Shall mean landscaping consisting of trees, plants and other vegetation, and may include features intended to increase stormwater infiltration into the ground such as bioswales, rain gardens, and tree pits, but shall not consist of hard-surfaced material such as concrete, decorative stonework, or retaining walls. Artificial grass shall not be considered soft landscaping.

Section 4 – General Provisions		
Section	Proposed Change	Proposed Revised Zone Regulation
Grey highlighted strikethrough text = text to be deleted bolded text = text to be added		
Landscape Requirements for Low Density Residential Uses Section 4.35.1 [New heading under 4.35 – Landscape Requirements]	LANDSCAPE REQUIREMENTS FOR LOW DENSITY RESIDENTIAL USES	LANDSCAPE REQUIREMENTS FOR LOW DENSITY RESIDENTIAL USES
Landscape Requirements for Multiple Dwellings, Multiple Dwelling Townhouses, and Other Residential Uses Section 4.35.2 [New]	LANDSCAPE REQUIREMENTS FOR MULTIPLE DWELLINGS, MULTIPLE DWELLING TOWNHOUSES, AND OTHER RESIDENTIAL USES On a lot containing a Multiple Dwelling, Multiple Dwelling Townhouse, Residential Care Facility, Retirement Home, or Lodging House in a Residential Zone, the following shall be provided: a) A minimum 50% of the required Landscaped Area shall be provided as Soft Landscaping.	LANDSCAPE REQUIREMENTS FOR MULTIPLE DWELLINGS, MULTIPLE DWELLING TOWNHOUSES, AND OTHER RESIDENTIAL USES On a lot containing a Multiple Dwelling, Multiple Dwelling Townhouse, Residential Care Facility, Retirement Home, or Lodging house in a Residential Zone, the following shall be provided: a) A minimum 50% of the required Landscaped Area shall be provided as Soft Landscaping.
Division of a Lot Containing a Multiple Dwelling Townhouse where Required to be on the Same Lot as a Separate Use	DIVISION OF A LOT CONTAINING A MULTIPLE DWELLING TOWNHOUSE WHERE REQUIRED TO BE ON THE SAME LOT AS A SEPARATE USE Notwithstanding the requirement of Section 15.6.1.1 iii) with respect to the requirement for a Multiple Dwelling Townhouse to be located on the same lot as	DIVISION OF A LOT CONTAINING A MULTIPLE DWELLING TOWNHOUSE WHERE REQUIRED TO BE ON THE SAME LOT AS A SEPARATE USE Notwithstanding the requirement of Section 15.6.1.1 iii) with respect to the requirement for a Multiple Dwelling Townhouse to be located on the same lot as a Lodging House, Multiple Dwelling, Residential Care Facility, Retirement Home, a lot containing one or more Multiple Dwelling Townhouses and none of the separately

Section 4 – General Provisions		
Section	Proposed Change	Proposed Revised Zone Regulation
Grey highlighted strikethrough text = text to be deleted bolded text = text to be added		
Section 4.41 [New]	a Lodging House, Multiple Dwelling, Residential Care Facility, Retirement Home, a lot containing one or more Multiple Dwelling Townhouses and none of the separately required uses may be created, provided that: i) all buildings on the lot to be divided have been built in conformity with this By-law; and, ii) any newly created lot(s) and any buildings thereon comply with all other requirements of this By-law.	required uses may be created, provided that: i) all buildings on the lot to be divided have been built in conformity with this By-law; and, ii) any newly created lot(s) and any buildings thereon comply with all other requirements of this By-law.

Section 5 – Parking		
Section	Proposed Change	Proposed Revised Zone Regulation
Grey highlighted strikethrough text = text to be deleted bolded text = text to be added		
Maximum Number of Parking Spaces Section 5.1.2 b)	b) <u>Reduction of Excess Parking Spaces</u> Where the number of existing parking spaces exceeds the maximum permitted in accordance with Section 5.7.2, the parking spaces provided in excess of the maximum parking standard may be eliminated. However, in no case may the number of parking spaces provided be less than the minimum parking requirements in Section 5.7.1.	
Minimum Floor Level for an Attached Garage Section 5.2.4 d)	<u>Minimum Floor Level for an Attached Garage</u> i) Where an attached garage is provided for a Single Detached Dwelling, [...] ii) Where an attached garage is contained within and exclusively used by a unit within a Multiple Dwelling Townhouse in any Zone, the finished floor level of the garage entry shall be higher than the elevation of the centreline of the individual driveway at the point where it intersects the common access driveway;	<u>Minimum Floor Level for an Attached Garage</u> i) Where an attached garage is provided for a Single Detached Dwelling, [...] ii) Where an attached garage is contained within and exclusively used by a unit within a Multiple Dwelling Townhouse in any Zone, the finished floor level of the garage entry shall be higher than the elevation of the centreline of the individual driveway at the point where it intersects the common access driveway;
Minimum Required Parking Rate Schedule Section 5.7.1 a) i)	[...] c) In PRA 3, and, i) within a R4, R4a, C5, C5a or TOC Zone, 0.5	[...] c) In PRA 3, and, i) within a R4, R4a, C5, C5a or TOC Zone, 0.5 spaces per unit for residents,

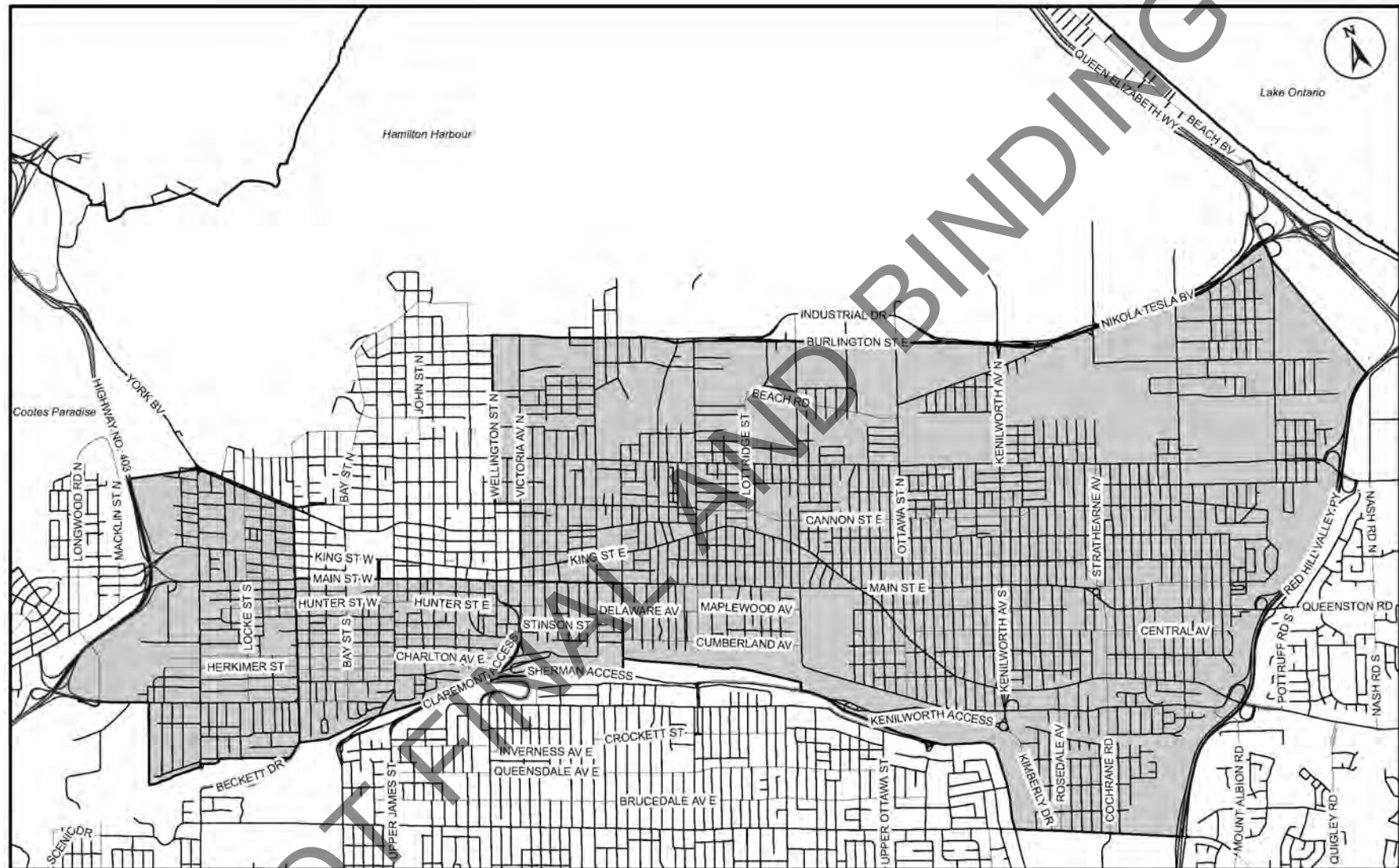
Section 5 – Parking							
Section	Proposed Change			Proposed Revised Zone Regulation			
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Column 2 of the row containing the following uses: Multiple Dwelling; Multiple Dwelling Townhouse; Dwelling Unit, Mixed Use, where the total number of such units is 5 or greater	spaces per unit for residents, plus 0.15 visitor parking spaces per unit, or, ii) within any other Zone, 0.85 spaces per unit for residents, plus 0.25 visitor parking spaces per unit. d) In all other areas, 1 space per unit for residents, plus 0.3 visitor parking spaces per unit.			plus 0.15 visitor parking spaces per unit, or, ii) within any other Zone, 0.85 spaces per unit for residents, plus 0.25 visitor parking spaces per unit. d) In all other areas, 1 space per unit for residents, plus 0.3 visitor parking spaces per unit.			
Minimum Bicycle Parking Rate Schedule Section 5.7.5 a) i) Residential Uses [New row in table beneath Lodging House]	Column 1	Column 2 (Short-term Bicycle Parking)	Column 3 (Long-term Bicycle Parking)	Column 1	Column 2 (Short-term Bicycle Parking)	Column 3 (Long-term Bicycle Parking)	
	[...]			[...]			
	Multiple Dwelling Townhouse	a) In Parking Rate Area (PRA) 1 and PRA 2, 0.1 per unit. b) In all other areas, 0.05 per unit.	a) No long-term bicycle parking spaces are required	Multiple Dwelling Townhouse	a) In Parking Rate Area (PRA) 1 and PRA 2, 0.1 per unit. b) In all other areas, 0.05 per unit.	a) No long-term bicycle parking spaces are required	

Schedule C: Special Exceptions

Section	Proposed Change	Proposed Zone Regulation																																
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945.	Within the lands zoned Mid Rise Residential – Large Scale (R4a, 945) Zone identified on Map No. 1339 of Schedule “A” - Zoning Maps and described as 1117 Garner Road East, Ancaster the following special provisions shall apply: a) Notwithstanding Sections 15.6.2.1 c) and d), the following regulations shall apply: <table><tr><td>c)</td><td>Minimum Setback from a Side Lot Line</td><td>i)</td><td>2.5 metres from the Easterly Side Lot Line;</td></tr><tr><td></td><td></td><td>ii)</td><td>All other Minimum Setbacks from a Side Lot Line shall comply with Section 15.6.2.1 c).</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td>d)</td><td>Minimum Setback from a Rear Lot Line</td><td>i)</td><td>1.0 metre.</td></tr></table>	c)	Minimum Setback from a Side Lot Line	i)	2.5 metres from the Easterly Side Lot Line;			ii)	All other Minimum Setbacks from a Side Lot Line shall comply with Section 15.6.2.1 c).					d)	Minimum Setback from a Rear Lot Line	i)	1.0 metre.	Within the lands zoned Mid Rise Residential – Large Scale (R4a, 945) Zone identified on Map No. 1339 of Schedule “A” - Zoning Maps and described as 1117 Garner Road East, Ancaster the following special provisions shall apply: a) Notwithstanding Sections 15.6.2.1 c) and d), the following regulations shall apply: <table><tr><td>c)</td><td>Minimum Setback from a Side Lot Line</td><td>i)</td><td>2.5 metres from the Easterly Side Lot Line;</td></tr><tr><td></td><td></td><td>ii)</td><td>All other Minimum Setbacks from a Side Lot Line shall comply with Section 15.6.2.1 c).</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td>d)</td><td>Minimum Setback from a Rear Lot Line</td><td>i)</td><td>1.0 metre.</td></tr></table>	c)	Minimum Setback from a Side Lot Line	i)	2.5 metres from the Easterly Side Lot Line;			ii)	All other Minimum Setbacks from a Side Lot Line shall comply with Section 15.6.2.1 c).					d)	Minimum Setback from a Rear Lot Line	i)	1.0 metre.
c)	Minimum Setback from a Side Lot Line	i)	2.5 metres from the Easterly Side Lot Line;																															
		ii)	All other Minimum Setbacks from a Side Lot Line shall comply with Section 15.6.2.1 c).																															
d)	Minimum Setback from a Rear Lot Line	i)	1.0 metre.																															
c)	Minimum Setback from a Side Lot Line	i)	2.5 metres from the Easterly Side Lot Line;																															
		ii)	All other Minimum Setbacks from a Side Lot Line shall comply with Section 15.6.2.1 c).																															
d)	Minimum Setback from a Rear Lot Line	i)	1.0 metre.																															

Schedule D: Holding Provisions		
Section	Proposed Change	Proposed Revised Zone Regulation
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H206.	Notwithstanding Section 15.6.1 of this By-law, within lands zoned Mid Rise Residential – Large Scale (R4a) Zone, identified on Map No. XX of Schedule A – Zoning Maps and described as 1518 and 1530 Upper Sherman Avenue, Hamilton, no development shall be permitted until such time as: a) The owner shall Register a Plan of Subdivision to facilitate a public road extension of Cartier Crescent; b) The owner provides a Letter of Credit in the amount of \$15,000 for a Traffic Calming Monitoring program, and a Letter of Credit in the amount of \$40,000 for any future Traffic Calming measures resulting from the monitoring program; c) The owner submit and receive approval of a landscape plan within the 6 metre planting strip along the northerly rear yard, substantially in accordance with the landscape plan attached as Schedule D to the Minutes of Settlement entered into with respect to the subject lands dated November 27, 2019.	Notwithstanding Section 15.6.1 of this By-law, within lands zoned Mid Rise Residential – Large Scale (R4a) Zone, identified on Map No. XX of Schedule A – Zoning Maps and described as 1518 and 1530 Upper Sherman Avenue, Hamilton, no development shall be permitted until such time as: a) The owner shall Register a Plan of Subdivision to facilitate a public road extension of Cartier Crescent; b) The owner provides a Letter of Credit in the amount of \$15,000 for a Traffic Calming Monitoring program, and a Letter of Credit in the amount of \$40,000 for any future Traffic Calming measures resulting from the monitoring program; c) The owner submit and receive approval of a landscape plan within the 6 metre planting strip along the northerly rear yard, substantially in accordance with the landscape plan attached as Schedule D to the Minutes of Settlement entered into with respect to the subject lands dated November 27, 2019.
H207.	For the lands zoned Mid Rise Residential – Large Scale (R4a, 945, H207) Zone on Map No. 1339 of Schedule “A” - Zoning Maps and described as 1117 Garner Road East, Ancaster, no development shall be permitted until such time as: The ‘H’ Holding prefix shall be lifted from the “R4a, 945, H207” Zone once the following condition has been completed:	For the lands zoned Mid Rise Residential – Large Scale (R4a, 945, H207) Zone on Map No. 1339 of Schedule “A” - Zoning Maps and described as 1117 Garner Road East, Ancaster, no development shall be permitted until such time as: The ‘H’ Holding prefix shall be lifted from the “R4a, 945, H207” Zone once the following condition has been completed:

Schedule D: Holding Provisions		
Section	Proposed Change	Proposed Revised Zone Regulation
Grey highlighted strikethrough text = text to be deleted bolded text = text to be added		
	i. A suitable sanitary sewer outlet is extended to the subject lands to provide sanitary drainage to the site, to the satisfaction of the Manager of Engineering Approvals, Growth Management; and, ii. The applicant builds or secures their proportionate share of the extension of a storm sewer for the full frontage of the property to a suitable outlet, to the satisfaction of the Manager of Engineering Approvals, Growth Management.	i. A suitable sanitary sewer outlet is extended to the subject lands to provide sanitary drainage to the site, to the satisfaction of the Manager of Engineering Approvals, Growth Management; and, ii. The applicant builds or secures their proportionate share of the extension of a storm sewer for the full frontage of the property to a suitable outlet, to the satisfaction of the Manager of Engineering Approvals, Growth Management.



Special Figure 46: Mid Rise Residential Zones Lower City Regulations

Date:
August 19, 2025



Mid Rise Residential Zones Lower City Regulations



Hamilton
PLANNING AND ECONOMIC
DEVELOPMENT DEPARTMENT