

Authority: Item 10, Economic Development
and Planning Committee
Report: 10-001 (PED10014)
CM: January 27, 2010

Bill No. 015

CITY OF HAMILTON

BY-LAW NO. 10-015

To Adopt:

Official Plan Amendment No. 155 to the former City of Stoney Creek Official Plan;

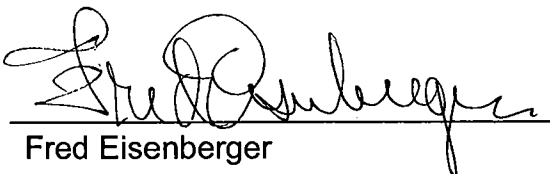
Respecting:

Lands Located on the west side of Upper Centennial Parkway, south of Highgate Drive, and known as Part of Lot 25, Concession 8, Stoney Creek

NOW THEREFORE the Council of the City of Hamilton enacts as follows:

1. Amendment No. 155 to the Official Plan of the former City of Stoney Creek Planning Area consisting of Schedule "1", hereto annexed and forming part of this by-law, is hereby adopted.

PASSED this 27th day of January, 2010



Fred Eisenberger
Mayor



Kevin C. Christenson
City Clerk

Amendment No. 155

to the

Official Plan for the former City of Stoney Creek

The following text, together with Schedule "A", Schedule "A" - General Land Use Plan and Schedule "B", Schedule "A3" - Secondary Plan - West Mountain Planning District (Heritage Green), of the Official Plan of the former City of Stoney Creek, attached hereto, constitute Official Plan Amendment No. 155.

Purpose:

The purpose of this Amendment is to redesignate the subject lands from "Low Density Residential" to "Medium Density Residential" on Schedule "A3" Secondary Plan - West Mountain Planning District (Heritage Green), to permit the subject land to be developed for street townhouses.

Location:

The lands affected by this Amendment are located on the west side of Upper Centennial Parkway, north of Rymal Road East and South of Highgate Drive, in the former City of Stoney Creek.

Basis:

The intent of the Amendment is to permit a medium density residential development in the form of street townhouse dwellings. The basis for the redesignation is as follows:

- The proposed Amendment is consistent with the Provincial Policy Statement, and conforms to the Growth Plan for the Greater Golden Horseshoe.
- It conforms with and implements the "Urban Area" designation of the Hamilton-Wentworth Official Plan.
- It conforms with the "Residential" designation, and implements the intensification policies of the City of Stoney Creek Official Plan, which also supports the provision of a full range of housing types.
- The use is compatible with the existing and proposed residential character of the surrounding neighbourhood.

- The proposed development is located at the periphery of the residential neighbourhood, and is adjacent to an arterial road.

Actual Changes:

1. Schedule "A", General Land Use Plan, be revised by identifying the subject lands as O.P.A. No. 155, as shown on the attached Schedule "A" to this Amendment.
2. Schedule "A3", Secondary Plan - West Mountain Planning District (Heritage Green), be revised by redesignating the subject lands from "Low Density Residential" to "Medium Density Residential", and identifying the subject lands as O.P.A. No. 155, as shown on the attached Schedule "B" to this Amendment.

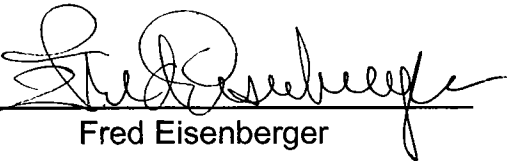
Implementation:

An implementing Zoning By-law Amendment will give effect to the intended use on the subject lands.

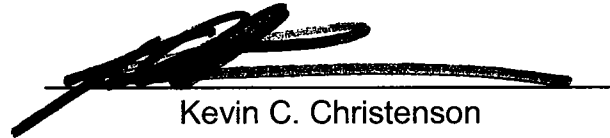
This is Schedule "1" to By-law No. 10-015, passed on the 27th day of January, 2010.

The

City of Hamilton



Fred Eisenberger
Mayor



Kevin C. Christenson
City Clerk

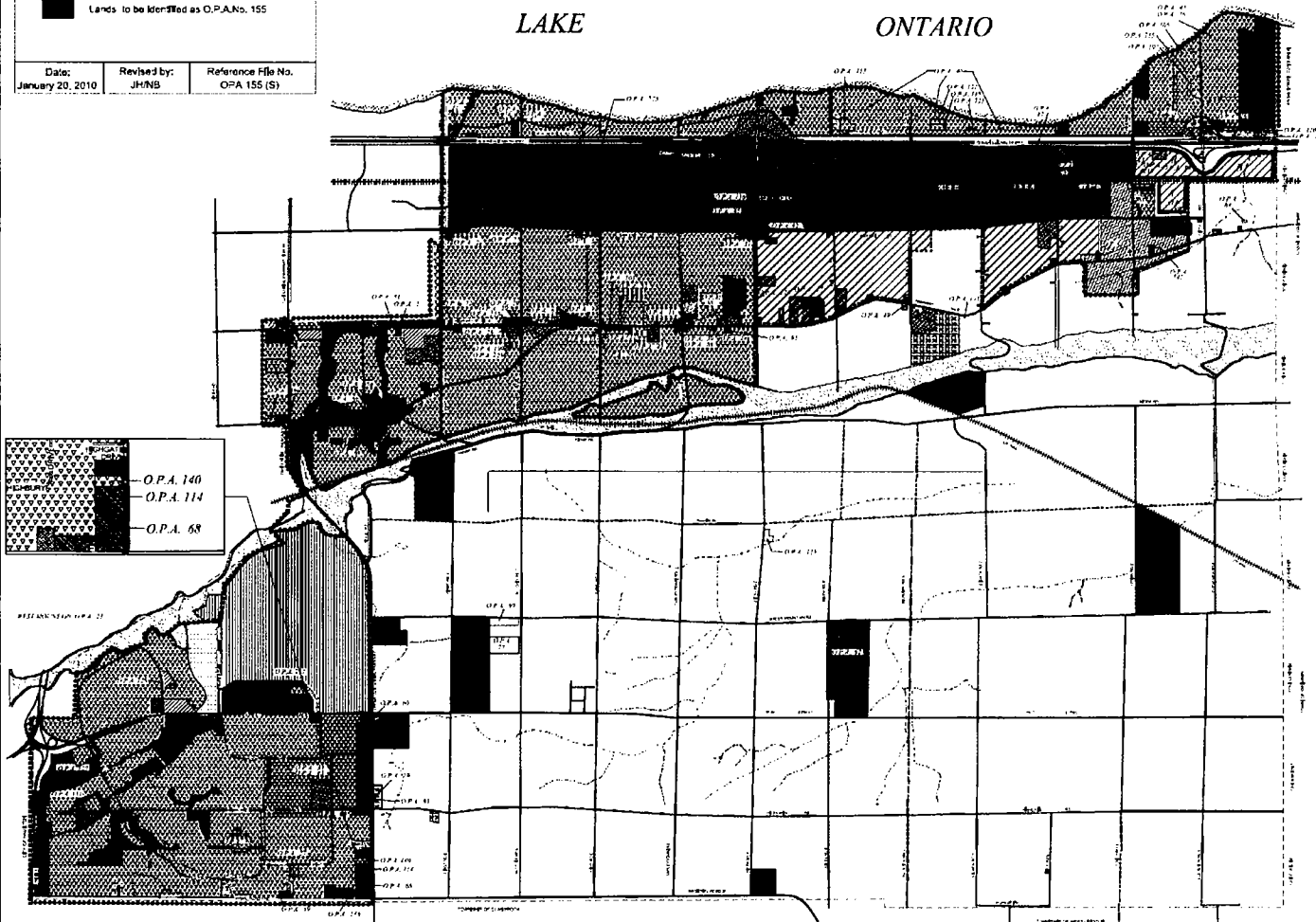
Schedule A
Amendment No. 155
To the Official Plan
for the
former City of Stoney Creek


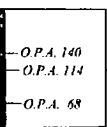

 Lands to be identified as O.P.A.s. 155

Date: January 20, 2010	Revised by: JHNB	Reference File No. OPA 155 (S)
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LAKE

ONTARIO



 O.P.A. 140
 O.P.A. 114
 O.P.A. 68

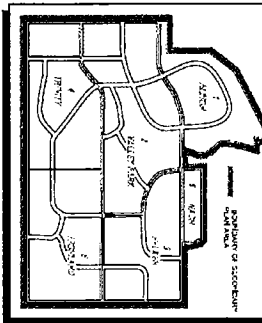
CITY OF STONEY CREEK
OFFICIAL PLAN
Schedule A
General

Legend

Land Use

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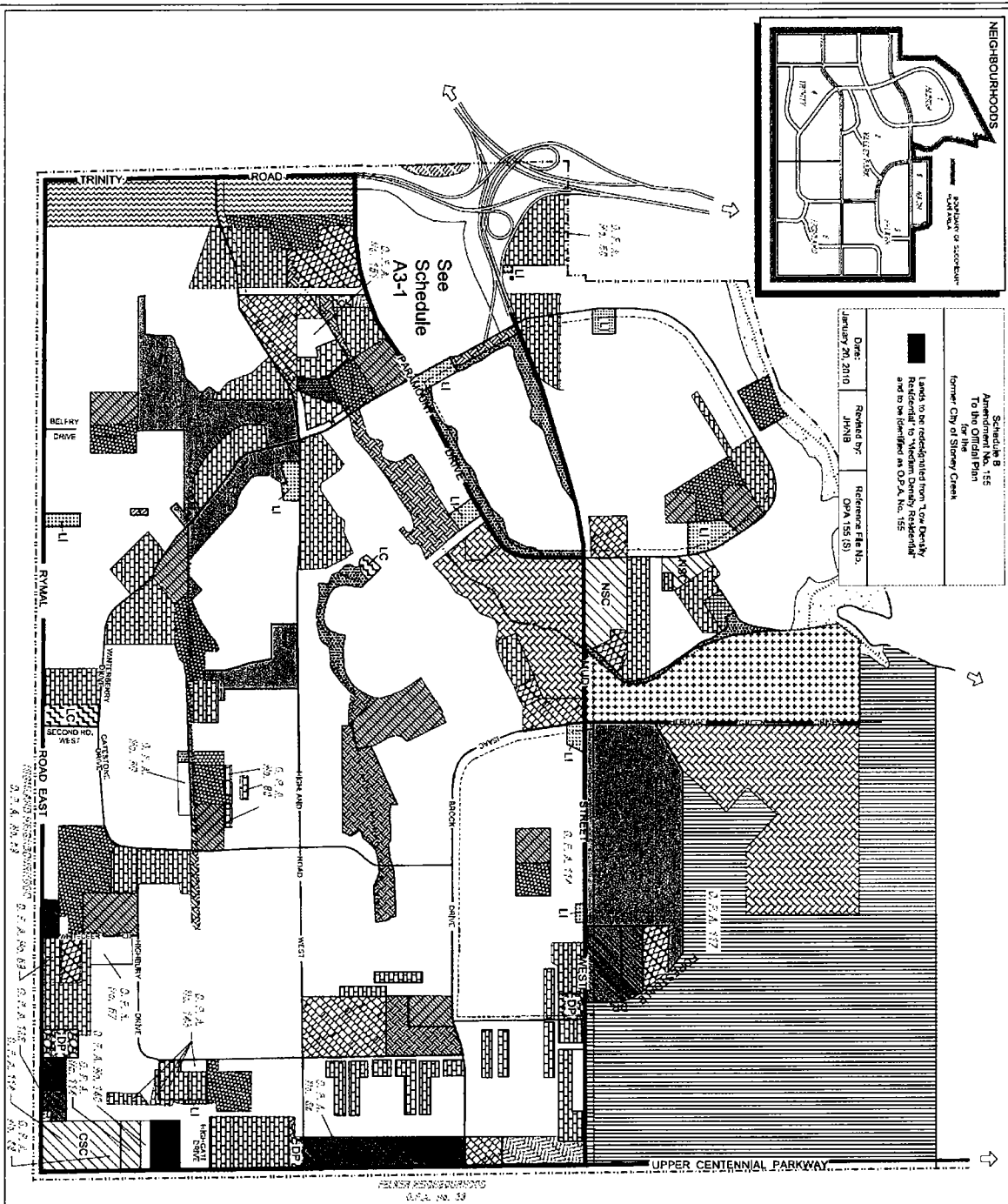
NEIGHBOURHOODS



Schedule B
 Amendment No. 155
 To the Official Plan
 Former City of Stoney Creek

Land to be re-designated from 'Low Density Residential' to 'Medium Density Residential' and to be identified as O.P.A. No. 155

Date: January 20, 2010
 Referred by: JHM/B
 Reference File No.: OPA 155 (S)



**CITY OF STONEY CREEK
 OFFICIAL PLAN
 Schedule "A3" Secondary Plan
 West Mountain Planning District
 (Heritage Green)**

Legend

- Land Use Designations**
- | | |
|--|--------------------------------------|
| Community Shopping Centre | Low Density Residential |
| Neighbourhood Shopping Centre | Medium Density Residential |
| General Commercial | Medium - High Density Residential |
| Local Commercial | Local Institutional |
| Regional Commercial | Institutional |
| Service Commercial | Recreational Special Area |
| Elementary School | Parkette |
| DP - Detention Pond | Community Park |
| Neighbourhood Park | General Open Space |
| Special Policy Area 'A' | City Wide Park |
| Special Policy Area 'B' | District Boundary |
| Special Policy Area 'C' | Arterial Road |
| Special Policy Area 'D' | Collector Road |
| Open Space - Community Park | Off Street Bicycle and/or Pedestrian |
| DP - Detention Pond | On Street Bicycle |
| Parkland designations defined in OPA 128 | |

CITY OF STONEY CREEK

APPROVED AS O.P.A. No. 21 AND AMENDMENTS THERE TO
 December 2009